



TOWN OF CALEDON

Site Plan Control Manual

Information Package



Planning and Development Department

July 6, 2010

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To obtain a copy of the Site Plan Application Package (Application Form included), please visit our website at www.caledon.ca or the Planning & Development Department, Development Section



Section 1: Introduction



The Town of Caledon utilizes the Site Plan Control process as a tool to ensure the highest quality of site design, engineering efficiency, building architecture and landscape development. In implementing this process the Town of Caledon is endeavoring to protect the interests of all parties involved.

The purpose of the Site Plan Control Manual is to provide builders, developers and/or interested parties with a general overview of the administration of the site plan process in the Town of Caledon. A description of the usual submission requirements is available as a guide for the applicant wishing to submit applications. It is noted that these requirements may change based on site specific circumstances.

It is recommended that the applicant review the Site Plan Control Manual thoroughly (along with other relevant documents) to reduce the amount of time spent on plan revisions and to fully understand the requirements of the Town of Caledon.



The Town of Caledon encourages green development through the Town's new and innovative Green Development Program. As of June 1, 2008, this Program will provide development charge discounts for new "green" commercial and industrial buildings that incorporate LEED (Leadership in Energy and Environmental Design) certification or green technologies. The green technologies include: solar hot water systems transpired solar collectors, solar photovoltaic systems, permeable pavement and storm water cisterns. The development charge discounts range from 20-27.5% for LEED certification and is 5% for green technologies. To be eligible for this program, a completed Green Development Application Form is required at the time of Building Permit application. For more information on this process or the general program, please contact the Manager of Economic Development and Communications or the Environmental Progress Officer, Planning and Development Department at 905.584.2272.



Section 2: Site Plan Control

Pursuant to Section 41 of the *Planning Act*, as amended, The Corporation of the Town of Caledon, in accordance with Section 6.2.11 of the Official Plan, designates all lands within the corporate limits of the Town of Caledon as a Site Plan Control Area. Certain exceptions are defined in the Site Plan Control By-law 2008-095 and amendments thereto.

Site Plan Control is an essential component of the development review process and is intended to complement the objectives of the Official Plan and the requirements of the Zoning By-law. The implementation of Site Plan Control enables the Town of Caledon to ensure that all new developments will be designed in accordance with the requirements of all municipal, regional and provincial authorities. The most current design guidelines and policies are applicable at the time of approval of the site plan.



The proposal should be designed in compliance with the following minimum urban design requirements:



- Buildings will be oriented and designed to be energy and water efficient;
- Design of the site and the built form will be compatible with the surrounding context, providing a sense of identity and contributing to the intended character of the neighbourhood area;
- The proposed massing and proportions will create human scale;
- Built and cultural heritage will be conserved and incorporated into community design;
- Design will address public roads with main entrances facing the streets, pedestrian friendly environment and landscape treatment;
- Views of significant features should be created or maintained;
- The appurtenances will be integrated into building design. Parking, loading and storage areas will be located away from the public roads to minimize their presence. If abutting adjacent properties, they should be properly screened from the view.

Other permits and approvals may be required prior to site plan approval. It is the applicant's responsibility to contact the relevant external agencies such as the Region of Peel, Conservation Authority, Hydro One and the Niagara Escarpment Commission to obtain these.

Inquiries regarding Site Plan Control should be directed to the Planning and Development Department, Development Section. Refer to Section 5, Contact List, for a comprehensive listing of people and places you may wish to contact.



Section 3: Steps to Approval

Step 1:
Pre-Consultation Meeting

Step 2:
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Step 3:
Circulation Review

Step 4:
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Step 5:
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Step 6:
Conditional Approval

Step 7:
Final Approval

Step 8:
Building Permit Issuance

Step 9:
Release of Securities

Step 1: Pre-Consultation Meeting

The applicant is required to present and discuss a conceptual site plan, prepared by a qualified professional, with the Planning and Development Department prior to submitting a formal Site Plan Application Package.

Pre-Consultation Meeting will:

- Identify the Lead Planner as a contact for all future communications;
- Provide relevant policy or procedural matters to the applicant;
- Identify other approvals or permits required from external agencies or committees; (eg. Accessibility Committee)
- Allow the applicant and Town of Caledon staff the opportunity to discuss the merits of the proposal and revise the application prior to submission to expedite the process;
- Review submission requirements, zoning, landscaping, engineering, building code, and architectural design issues;
- Determine if any background studies are required, including but not limited to: Archaeological Assessment Report, Traffic Report, Environmental Report, Noise Study, Shadow Study, Tree Inventory and Assessment Study, Hydrogeological Report;
- A Mandatory Pre-Consultation Meeting Form will be completed with the Lead Planner during the pre-consultation meeting.

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Step 2: Submission of Application Package

The proposed development will be assessed to determine which stream the application will be processed through. This will be decided within 3 days of the pre-consultation meeting.

Streams of Site Plan Approval:

Stream 1: Full Site Plan

Typical Criteria:

- No approved site plan exists for development;
- New building or addition is greater than 50% of the existing gross floor area;
- Proposal may cause substantial alterations to approved stormwater management and/or traffic impacts.

Stream 2: Site Plan Amendment

Typical Criteria:

- Approved site plan exists for development; and,
- Proposal may cause substantial alterations to approved stormwater management and/or traffic impacts;
- Full circulation to all agencies and departments may be required;
- Amended Site Plan Agreement required;
- Additional securities may be required.

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Stream 3: Director's Approval Major

Typical Criteria:

- Approved site plan exists for development;
- Modifications to landscaping plan, review of architectural elevations and/or zoning may be required;
- Building additions are between 30-50% of the existing gross floor area;
- Proposal may create minor alterations to approved stormwater management and/or traffic impacts.

Stream 4: Director's Approval Minor

Typical Criteria:

- No approved site plan exists for development;
- Minor modifications to landscaping plan, review of architectural elevations and/or zoning may be required;
- Proposal does not alter approved stormwater management and/or does not effect traffic.

Stream 5: Exemption

Typical Criteria:

- (a) No approved site plan exists for development; and,
 - The addition will not exceed the lesser of 10% of the existing gross floor area of the existing building(s) or 25 square metres (269 square feet);
 - The addition and any development related thereto will not have any impact on stormwater management or traffic.
- (b) Approved site plan exists for development; and,
 - Building additions do not exceed 30% of existing gross floor area;
 - Proposal does not have a negative impact on stormwater management and/or traffic.

Section 3: Steps to Approval

Step 1:
Pre-Consultation Meeting

4 copies of a full-scale site plan, together with the application form and cover letter outlining the proposed site works must be submitted for exemption.

Step 2:
Submission of Application
Package

NOTE:

The calculation of the gross floor area of the exempted additions is made on a cumulative basis.

Step 3:
Circulation Review

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Once it has been determined which stream of site plan approval is required, the applicant must complete and submit the Submission Package to the Manager of Development, Planning and Development Department.

NOTE:

This does not apply to site plan exemptions

Please refer to the Submission Package for the following information:

Application for Site Plan Approval
(See Submission Package)

Appendix 1: Application for Site Plan Approval

Appendix 2: Site Plan Fees

Appendix 3: Overall Application Package
Requirements Checklist

Appendix 4: Site Plan Drawings Checklist

Appendix 5: Landscape Drawings Checklist

Appendix 6: Grading and Drainage Drawings
Checklist

Appendix 7: Building Drawings Checklist

NOTE:

Only complete Submission Packages will be accepted.

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Step 3: Circulation Review

Submission will be circulated to agencies and departments (if necessary) for comments. The following agencies and departments may be included:

1. Town of Caledon
Planning and Development Department:
 - Zoning
 - Heritage
 - Urban DesignLegal Services Department
Public Works and Engineering Department:
 - Engineering
 - Landscaping
2. Conservation Authorities:
 - Toronto and Region Conservation Authority
 - Credit Valley Conservation
 - Nottawasaga Valley Conservation Authority
 - Lake Simcoe Region Conservation Authority
3. The Region of Peel:
 - Environment, Transportation and Planning Services (ETPS)
 - Waste Management
4. Other:
 - Canadian Pacific Railways
 - Ministry of Transportation
 - Hydro One
 - Bell Canada
 - Rogers
 - GO Transit
 - Niagara Escarpment Commission
 - Enbridge Gas
 - Other municipalities

The Lead Planner will be responsible for initiating and maintaining communication flow through the life of the project.

This process will include an acknowledgement letter to the applicant which will outline the expectations involved in site plan approval. A copy of the template for Site Plan Agreement will be provided with the acknowledgement letter.

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Step 4: Co-ordination of Comments

- A deadline of two weeks is established for agency and department review and comments on circulated site plans. Please note that it would be beneficial for the applicant to contact external agencies to assist in the timely submission of comments.
- The Lead Planner will compile comments received from all departments and agencies, and notify the applicant by letter of the revised submission requirements.

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Step 5: Revised Submission(s)

- The revised submission package must be addressed to the Lead Planner who will circulate it to departments and agencies for additional review and comment.
- A deadline of two weeks is established for agency and department review and comments on re-circulated site plans. Please note that it would be beneficial for the applicant to contact external agencies to assist in the timely submission of revised comments.
- Revised submissions must contain the following:
 - Cover letter detailing the site plan revisions made and addressing all agency comments;
 - Revised plans, including revision bubble/clouds and associated reports (i.e. Stormwater Management Report, etc.)

NOTE:

Any file which has been inactive for a six month period, where no written or verbal contact from the applicant has occurred, will be deemed potentially inactive. A letter will then be sent to the applicant indicating the intention to close the file. If no response is received within 30 days, a letter confirming that the file has been closed will be sent to the applicant.

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Step 6: Conditional Approval

- The Planning and Development Department conditionally approves all plans and reports, typically within two to three months from the date of complete submission.
- The Lead Planner will advise the applicant of conditions that must be satisfied, including but not limited to the following:
 - Execution of Town of Caledon Site Plan Agreement (Registered on Title) or Letter of Undertaking;
 - Posting of securities for all site works with the Town of Caledon (the Letter of Credit must be in the name of the property owner and from a Schedule 1 (<http://laws.justice.gc.ca>) rated Canadian financial institution as identified in the Canada Bank Act (1991, c. 46));
 - Liability Insurance Certificate (Canadian broker only), minimum \$5,000,000 and,
 - Satisfaction of all Regional Site Plan Requirements, which may include the execution of a Regional Site Plan Agreement.
- The Site Plan Agreement or Letter of Undertaking will be completed and presented to the applicant for review and signature. The Site Plan Agreement is required by the Legal Services Department for those applications in the Site Plan Approval stream (both Full Site Plan and Site Plan Amendment), whereas the Letter of Undertaking is a requirement of the Major or Minor Director's Approval Stream.

NOTE:

The applicant will be required to pay associated fees for registration and preparation of a Site Plan Agreement or an Amendment to the Agreement.

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Step 7: Final Approval

- When all conditions have been fulfilled to the satisfaction of the Lead Planner, Final Approval will be granted.
- All dedications of easements, reserves and road widenings will be required by the Site Plan Agreement.
- Our Customer Service Feedback Form will be sent to the applicant upon Final Approval.
- A letter outlining the process to release securities will be sent to the owner and copied to the applicant.

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Step 8: Building Permit Issuance

- The Building Permit can be issued when:
 - Final Approval of the Site Plan Application has been granted; and,
 - Building Permit review process has been completed.

For more information regarding the Building Permit process, please contact the Building Section at 905.584.2272 ext. 4295.

NOTE:

Payment of additional fees such as development charges and/or cash-in-lieu of parkland may be required at the time of issuance of the building permit. Please contact the Administrative Assistant, Corporate Services Department for development charges inquiries and/or the Manager of Parks/Landscape Architect, Public Works & Engineering Department 905.584.2272 for cash-in-lieu of parkland inquiries.

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Step 9: Release of Securities

Steps to the Release of Securities:

1. A Preliminary Engineering and Landscape Completion Certification must be submitted and approved by the Town (signed and stamped by accredited professionals) upon completion of all site works.
2. All plant material will be guaranteed for a minimum of 1 year from the date of the Town's approval of the Landscape Completion Certification.
3. All plant material must be inspected (by the applicant's Landscape Architect) at the end of the 1 year warranty period to ensure it remains in good health. A Final Landscape Completion Certification must be submitted and approved by the Town (signed and stamped by an accredited professional).
4. Town Site Inspection(s):
 - Town staff may inspect the site.
 - Inspections of soft landscape components are conducted from mid-May through mid-October, while plants are in leaf.
 - Inspections of hard landscape and engineering works may be conducted after these dates.
 - If the Town determines during a site inspection that there are deficiencies, the applicant will be required to submit a revised certificate(s) to verify that the deficiencies have been corrected.
 - The Town may require an additional fee to conduct a further inspection to confirm that all works are complete.

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Final Release of Securities:

Securities will be released at the end of the 1 year warranty period and upon Town approval of the Final Landscape and Engineering Completion Certifications (signed and stamped by an accredited professional). No partial release of securities is permitted.

NOTES:

Where any of the work related to the site plan is on Town property, the release of the Letter of Credit is also subject to the receipt of a Statutory Declaration regarding Liens and Liabilities and Payment of Accounts.

The Town may require additional securities if the applicant is participating in the Town's Green Development Program.

Template 1: Letter of Undertaking Form

LETTER OF UNDERTAKING MAJOR OR MINOR DIRECTOR'S APPROVAL

I, **(Name of Applicant)** of **(Name of Company)** hereby undertake to complete the approved works in accordance with the approved Site Plan (**File No.: SPA xx-xxxx**) for **(Legal Description)** at **(Municipal Address)** of the Town of Caledon and to restore any lands affected by the development of the subject lands, including but not limited to: fencing, curbing, sidewalks, retaining walls, grading and drainage, to the satisfaction of the Town of Caledon. I agree to deposit with the Town of Caledon, an irrevocable Letter of Credit, certified cheque or cash in the amount of Five Thousand (\$5,000.00) Dollars.

Should I fail to complete the approved works in accordance with the approved site plan within the one-year period of the date of this undertaking, or of the development of the subject lands or of any other lands, I agree to forfeit the Five Thousand (\$5,000.00) Dollars, or part thereof as may be determined by the Town of Caledon, and the Town of Caledon may at any time after the one-year period use the Five Thousand (\$5,000.00) Dollars to complete the approved works and/or restore any damage caused to any other lands by the development of the subject lands.

Lot _____ Registered Plan Number _____ or Conc. _____ EHS/WHS

Former Township: _____

Street Address _____

Settlement Area _____

Postal Code _____

Applicant's Signature _____

Telephone Number _____

Template 2: Letter of Credit Form

Automatic Extension

(LETTERHEAD OF BANK OR OTHER FINANCIAL INSTITUTION)

(Address of Financial Institution)

(ONLY LETTERS OF CREDIT PROVIDED BY CANADIAN SCHEDULE "I" BANKS ARE ACCEPTABLE)

(Date)

To: The Corporation of the Town of Caledon
6311 Old Church Road
Caledon, Ontario
L7C 1J6

Attention: Manager of Development

Dear Madam/Sir:

Re: Irrevocable Standby Letter of Credit No. _____

We hereby authorize you to draw on *(Name and Address of Bank)*, for the account of *(Customer's Name and Address)*, up to an aggregate amount of \$____available on demand.

Pursuant to the request of *(Name of Customer)*, we *(Name of Bank)*, hereby establish and give to you an Irrevocable Standby Letter of Credit in your favour in the total amount of \$____, which may be drawn on by you at any time and from time to time upon written demand for payment made upon us by you which demand we shall honour without inquiring whether you have a right as between yourself and our said customer to make such demand, and without recognizing any claim of our said customer.

Provided, however, that you are to deliver to us at such time as a written demand for payment is made upon us, a certificate confirming that monies drawn pursuant to this Irrevocable Standby Letter of Credit are to be retained and used to meet obligations incurred or to be incurred by you in connection with an agreement entered into by (Customers Name) with the Town of Caledon regarding Lot __, Concession __, Former Township __, or Registered Plan __, being __, Town of Caledon, Regional Municipality of Peel.

The amount of this Irrevocable Standby Letter of Credit shall be reduced from time to time as advised by notice in writing given to use from time to time by you.

This Irrevocable Standby Letter of Credit will expire at our counters *(Name of Bank)* on *(expiry date)*.

It is a condition of this Irrevocable Standby Letter of Credit that it shall be deemed to be automatically extended for one year from the present or any future expiration date hereof, unless thirty days prior to any such date we shall notify you in writing by Registered Mail that we elect not to consider this Irrevocable Standby Letter of Credit renewed for any such additional period. Upon

Template 2: Letter of Credit Form

receipt by you of such notice, you may draw hereunder by means of your demand accompanied by your written certification that the amounts drawn will be retained and used by you to meet obligations incurred or to be incurred in connection with the above agreement; further, that you will release any amounts not required by you to *(Name of Customer)*.

Partial drawings are permitted.

The drawings under this Irrevocable Standby Letter of Credit are to state on their face that they are drawn under *(Name and Address of Bank)*, Irrevocable Standby Letter of Credit No. _____ dated _____.

We hereby agree that drawings under this Irrevocable Standby Letter of Credit will be duly honoured upon presentation provided that all terms and conditions of the Credit have been complied with.

NAME OF BANK OR FINANCIAL INSTITUTION

Per: _____

Per: _____

Template 3: Consultant Engineer Letter of Conformance

(Company Letterhead)

(Date)

Public Works and Engineering Department
The Corporation of the Town of Caledon
6311 Old Church Road
Caledon, Ontario
L7C 1J6

Attention: (Name of Lead Planner)

Re: Engineering Letter of Conformance
(Project Name)
(Site Plan Application Number)
(Legal Description/Municipal Address)

This letter certifies that I, (Name of Professional) of (Name of Company), being a Professional Engineer in good standing in the Province of Ontario and licensed to perform consulting engineering services in the Province of Ontario, have reviewed and understood the Public Works and Engineering ICI Site Plan Design Guidelines.

I also certify that I have visited the site and am familiar with this property and surrounding properties and have designed the site plan accordingly. I also certify that I have reviewed the most recent legal survey plan of the property and am aware of all registered easements affecting the property.

The aforementioned site plan submission containing the drawings, reports, and studies, as shown in Schedule A (List all drawings by number with revision number, if applicable, reports, studies in Schedule A) attached hereto meets all the criteria set out in the Guidelines. (If any of the guidelines or standards have not been met, then carefully list which ones with a brief summary of the issue(s) and the engineering principle that concluded the reason(s) for non compliance). The submitted Site Plan design does not adversely affect any of the neighbouring properties, meets all applicable laws of Ontario and is designed with good engineering principles.

The submitted site plan was designed with pedestrian usage and safety in mind and overall safe and efficient movement of goods/vehicles/pedestrians was contemplated in the design with no safety issues identified. No egress or access traffic concerns/conflicts were identified with this proposal and the intended use of the site will not cause unsafe or unacceptable service level traffic conditions.

Yours truly,

(Name and Title of Professional)
(Name of Company)
(Professional Stamp)

c.: (Name of Supervisor of Development, Public Works and Engineering)

Template 4: Consultant Landscape Architect Letter of Conformance

(Company Letterhead)

(Date)

Planning and Development Department
The Corporation of the Town of Caledon
6311 Old Church Road
Caledon, Ontario
L7C 1J6

Attention: (Name of Lead Planner)

Re: Landscape Letter of Conformance
(Project Name)
(Site Plan Application Number)
(Legal Description/Municipal Address)

This letter certifies that I, (Full Name of Professional) of (Name of Company), being a Professional Landscape Architect in good standing as a full member of the Ontario Association of Landscape Architects, have reviewed and understood the Town of Caledon – Landscape Standards as outlined in the Site Plan Manual dated (Provide Date of Manual) and the following relevant Urban Design Guidelines: (List Design Guidelines Reviewed, if Applicable). I also certify that I have visited the site, am familiar with this property and surrounding properties and have designed all aspects of the landscape site plan accordingly.

The aforementioned landscape site plan submission containing the following drawings as required in the Site Plan Control Manual (List all drawings by number with revision number if applicable) attached hereto meets all the criteria as set out in the 'Site Plan Control Manual'. (If any of the guidelines or standards have not been met, then carefully list which ones with a brief summary of the issue (s) and the landscape design principle that concluded the reason (s) for non compliance).

The submitted 'Landscape Site Plan(s)' design does not adversely affect any of the adjacent properties. The package contained herein also meets all applicable laws of Ontario and has been designed in accordance with sound landscape architectural principles.

Yours truly,

(Name and Title of Professional)
(Name of Company)
(Professional Stamp)

c: (Landscape Project Coordinator, Public Works & Engineering)

Template 5: Consultant Engineer Completion Certification

(Company Letterhead)

(Date)

Public Works and Engineering Department
The Corporation of the Town of Caledon
6311 Old Church Road
Caledon, Ontario
L7C 1J6

Attention: (Name of Supervisor of Development Public Works and Engineering)

Re: Certification of Building and Final Lot Grading
(Project Name)
(Site Plan Application Number)
(Legal Description/Municipal Address)

I have determined the field elevations with respect to final grading on the above lot and have viewed the finished building there and the lot grading and do hereby certify:

1. Where manholes and catchbasins are present on property, all have been raised to the final grade, are uncovered and in a clean condition;
2. Where rainwater roof leader down spout(s) discharge onto the surface, the locations and outlets are in accordance with the approved site grading plan;
3. Driveways have been constructed to the latest Town Standard;
4. The building construction and the grading of the lot are in conformity with the overall grading plan and the 'Certification of Proposed Building and Lot Grading' previously submitted. Note: slight modifications to the actual grading may have been implemented but all modifications have been reviewed and accepted by the Director of Public Works and Engineering as indicated on the attached as-built drawing (stamped by a Professional Engineer or Ontario Land Surveyor); OR,
5. In conformity with the variance approved by the Director of Public Works and Engineering on **(Date of Approval)** that is contained in the 'Certification of Proposed Building and Lot Grading' previously submitted as indicated on the attached as-built drawing (stamped by a Professional Engineer or Ontario Land Surveyor).
6. A minimum of 150mm of foundation wall is exposed above finished grade.

Yours truly,

(Name and Title of Professional)
(Name of Company)
(Professional Stamp)

c: (Name of Planner, Planning & Development)

Template 6: Preliminary Consultant Landscape Completion Certification (Warranty)

(Company Letterhead)

(Date)

Planning and Development Department
The Corporation of the Town of Caledon
6311 Old Church Road
Caledon, Ontario
L7C 1J6

Attention: (Name of Lead Planner)

Re: Landscape Certification for Commencement of Plant Warranty
(Project Name)
(Site Plan Application Number)
(Legal Description/Municipal Address)

This letter certifies that I, (Full Name of Professional) of (Name of Company), being a Professional Landscape Architect in good standing as a full member of the Ontario Association of Landscape Architects, have reviewed and performed a 'Landscape Inspection' for the above referenced project.

Upon completion of the required inspection, I hereby certify that all landscape works shown on the approved plans have been constructed and implemented in conformance with the approved details and specifications and associated documents for the above-referenced project and recommend commencement of plant warranty period.

Yours truly,

(Name and Title of Professional)
(Name of Company)
(Professional Stamp)

c: (Landscape Project Coordinator, Public Works & Engineering)

Template 7: Final Consultant Landscape Completion Certification

(Company Letterhead)

(Date)

Planning and Development Department
The Corporation of the Town of Caledon
6311 Old Church Road
Caledon, Ontario
L7C 1J6

Attention: (Name of Development Assistant)

Re: Final Landscape Completion Certification
(Project Name)
(Site Plan Application Number)
(Legal Description/Municipal Address)

This letter certifies that I, (Full Name of Professional) of (Name of Company), being a Professional Landscape Architect in good standing as a full member of the Ontario Association of Landscape Architects, have reviewed and performed a 'Final Landscape Inspection' for the above referenced project.

Upon completion of the required inspection, I hereby certify that all landscape works shown on the approved plans have been constructed and implemented in conformance with the approved details and specifications and associated documents for the above-referenced project. The warranty has now been completed and all plant material is in good health.

Yours truly,

(Name and Title of Professional)
(Name of Company)
(Professional Stamp)

c: (Name of Lead Planner, Planning & Development, Landscape Project Coordinator, Public Works & Engineering)

Template 8: Standard Notes and Details for Industrial and Commercial Applications

A Landscape Notes

NOTE: No changes are to be made to the landscape notes that in any way lessen the requirements.

General

- These specifications are to be read in conjunction with the general conditions of the contract as prepared by and available at the office of **(Name of Consultant Landscape Architect)**.
- Prior to commencing work, the contractor shall:
 1. Familiarize themselves with the plans, details and specifications of this project;
 2. Visit the site to ascertain and take account of existing conditions and any deviations from the plans in work by other; and,
 3. Finalize all design alternatives in consultation with the Landscape Architect.
- Prior to excavating the contractor shall verify the location of all underground utilities. In the event of a conflict between a proposed tree location and an underground service, the exact location of the tree shall be determined on site by the Landscape Architect. The contractor shall, at his/her own expense, repair any damage to existing utilities, structures, facilities, etc. done in the performance of their work.

Soft Landscaping Plant Materials

- All plants shall be installed true to specified names, sizes, grades, etc. and shall conform to the standards of the Canadian Nursery Landscapes Association.
- All plants shall be nursery grown in a hardiness zone appropriate to site conditions, as published by Agriculture Canada, entitled 'Map of Plant Hardiness Zones in Canada'.
- In the event of a discrepancy in plant quantity between the landscape plan and the plant list, the landscape plan shall govern.
- The contractor shall make plants available for inspection by the Landscape Architect prior to shipping to the site. This does not limit the right of the Landscape Architect and/or Town's representative to later reject plant material that is of poor quality, damaged during shipping or installation, performing poorly while the guarantee period is still in effect, or otherwise does not conform to the specifications.
- Plant substitutions must be approved in writing by the owner, the Landscape Architect and the Town prior to delivery of the material on-site. The Landscape Architect may, upon completion of the work and notwithstanding prior approval at source, reject plant material not conforming to the specifications
- The contractor shall use standard industry methods for planting trees. Trees shall be turned to give the best appearance. They shall also be guyed and staked immediately after planting and as detailed on the drawings.

Bed Preparation

- Prior to backfilling, scarify the sides and bottom of the excavated tree pits and shrub beds.

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- Where heavy clay soil conditions prevail, backfill to the specified depths with:
 - 2 parts "Triple Mix" delivered to the site well-mixed with 1 part local topsoil (topsoil that was removed from the site and stockpiled; if unavailable, a topsoil with clay content must be imported)
- Tree pits must be constructed with saucers and mulch as detailed.

Maintenance

- Maintenance of all landscape installations throughout to include:
 - Proper irrigation to ensure optimum growth and development of installed plant material.
 - Cultivation, weeding and fertilization of the tree pits and planting beds.
 - Insect and disease control using 'Integrated Pest Management' practices.
- Pruning and maintenance to further promote visibility and vitality of its intended use, as directed by the Landscape Architect or the Town.

Guarantee

- All plant materials shall be guaranteed for a minimum of 1 year from date of written Landscape Certification for Commencement of Plant Warranty as granted by the Town, and until final certification is granted by the Town. Plants which do not survive satisfactorily during the guarantee period shall be replaced at no extra cost to the owner. Plant material which is replaced due to unsatisfactory performance shall, in turn, be guaranteed for another minimum of 1 year, or until final certification is granted by the Town.
- Similarly, all other landscape work performed under this contract shall be fully guaranteed for the above specified period.
- All work shall be inspected at the end of the warranty period, at which time a final certificate will be issued by the Landscape Architect and submitted to the Town for their inspection, and approval of final certification, permitting release of site work securities.
- At the end of the guarantee period, the contractor shall remove all tree stakes, rodent guards and bark wrap and all extra mulch where necessary.

Acceptance

- Work will be accepted by the owner or their representative upon completion and at the end of the specified maintenance period, provided that all plant material is alive and in healthy growing conditions.
- Written preliminary and final certification must be submitted to the Town by the Landscape Architect. The Certifications shall be signed and stamped with the seal of the OALA.
- Preliminary Certification of the project shall serve as the start of the guarantee period.
- Final acceptance of the landscape works for this project is granted by the Town of Caledon upon conducting a satisfactory final site inspection.

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Continued Responsibility of Owner

- The owner has a responsibility to maintain the approved landscape in a well cared for manner that promotes plant vitality and healthy appearance. Any declining or dead plants are to be replaced within the season to sustain a kept landscape. The owner is reminded that future site plan applications for this site will be reviewed with regard to the conformity of the existing landscaping to the approved Landscape Plan registered with the Town of Caledon.

NOTE: Standard Notes to Industrial and Commercial Landscape Drawings may be modified to fit the drawing space. No changes are to be made to the text that in any way lessen the requirements.

B Grading and Drainage Notes

The following notes are to appear on the Grading and Drainage Plan:

1. Construction for this project to comply with the most current version of the Development Standards, Policies and Guidelines, prepared by the Town of Caledon, Public Works and Engineering Department and the Ontario Provincial Standards and Specifications.
2. All proposed construction shall be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
3. Within a minimum of forty-eight hours prior to commencing construction within the municipal right-of-way, the contractor must contact the following:

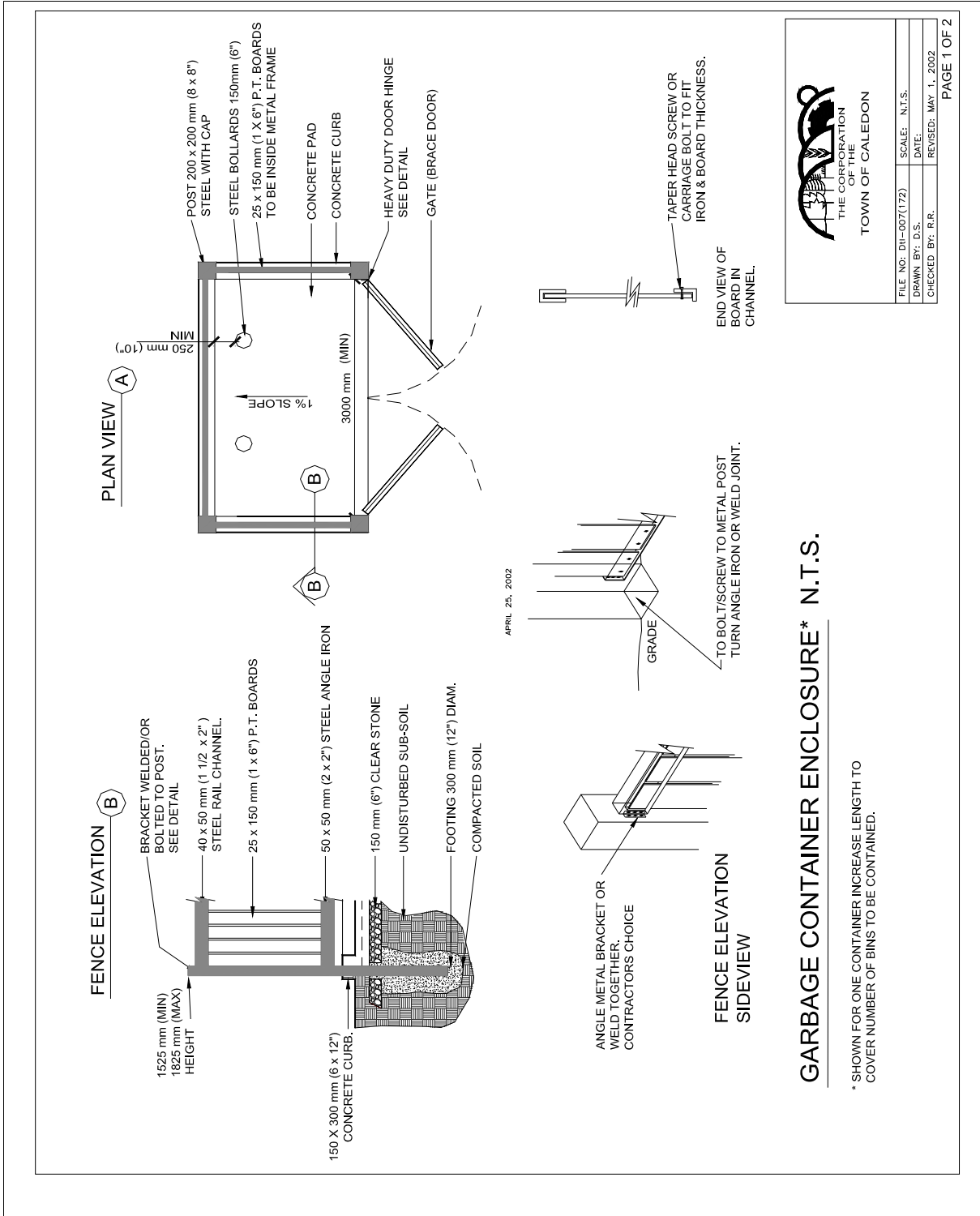
The Town of Caledon Public Works and Engineering Department	905.584.2272
The Region of Peel	905.791.7800
Enbridge Consumers Gas	905.758.7924
Hydro One	519.941.1211
Bell Canada	416.296.6929
Rogers Cable	905.897.3914

4. All drainage to be self-contained and discharged to a location approved by the Public Works and Engineering Department.
5. Sediment control devices are to be installed prior to any construction on the site and shall be inspected and maintained throughout the construction period to the satisfaction of the Town of Caledon and the applicable Conservation Authority.
6. A minimum of 1.5m clearance is to be provided from the limits of all sidewalks and driveways to existing utility structures within the municipal right-of-way. If this clearance is not maintained, the structures shall be relocated at the applicant's expense.
7. Street curbs are to be continuous within the proposed entrance.
8. Any changes to grades or servicing from the originally approved site plan must be approved by the Town of Caledon Public Works and Engineering Department.

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9. Structural design of the fire route is required to support an 18-ton vehicle. As such the drawing is to show areas of heavy asphalt and light asphalt and is to provide design information.
10. All boulevards to be restored with 150mm minimum of topsoil and sod to the satisfaction of the Town of Caledon Public Works and Engineering Department.
11. The minimum pavement design for the asphalt driveway apron within the municipal road allowance shall be as follows:
 - 40mm HL3 Asphalt
 - 50mm HL8 Asphalt
 - 150mm Granular 'A'
 - 300mm Granular 'B'The consultant should review the above with respect to the expected usage.
12. Service Connection Backfill to be discussed with the Town of Caledon.

Template 8: Standard Notes and Details for Industrial and Commercial Applications (to be shown on site plan drawings)



THE CORPORATION OF THE TOWN OF CALEDON

FILE NO: DI-007(172)	SCALE: N.T.S.
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CHECKED BY: R.R.	REVISED: MAY 1, 2002

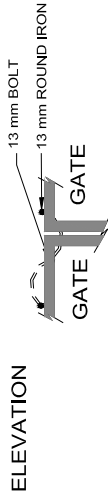
PAGE 1 OF 2

GARBAGE CONTAINER ENCLOSURE* N.T.S.

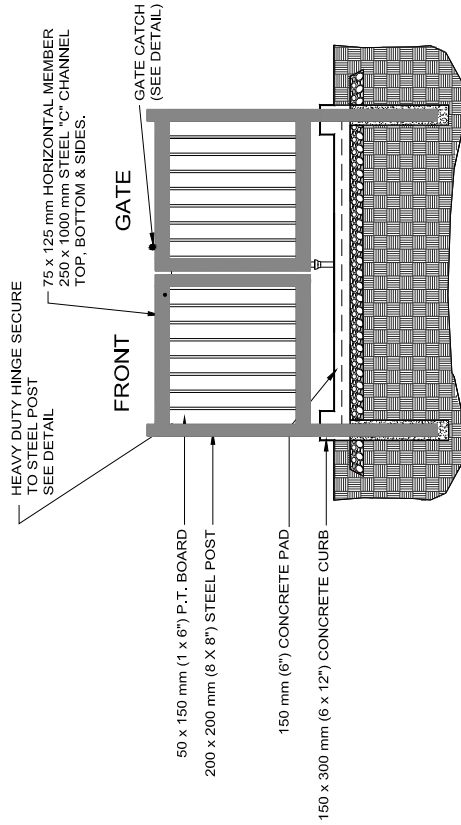
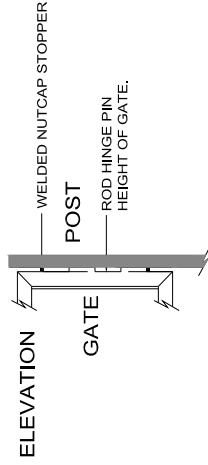
* SHOWN FOR ONE CONTAINER INCREASE LENGTH TO COVER NUMBER OF BINS TO BE CONTAINED.

Template 8: Standard Notes and Details for Industrial and Commercial Applications (to be shown on site plan drawings)

GATE LATCH DETAIL



HINGE DETAIL



GARBAGE CONTAINER GATE ELEVATION N.T.S.

1. LOCATION OF GARBAGE BIN TO BE APPROVED BY SITE PLAN PROCESS PRIOR TO CONSTRUCTION.
2. ALL CONCRETE USED TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 30MP AFTER 28 DAYS WITH 5-7 % AIR ENTRAINMENT.
3. CONCRETE SLAB TO BE REINFORCED BY 6x6x10x10 WELDED WIRE MESH.
4. ALL WOOD TO BE PRESSURE TREATED PINE, SPRUCE OR WESTERN RED CEDAR.
5. GATE TO HAVE MINIMUM OPENING OF 3000 mm OPEN.
6. 75x75 mm STEEL POST PAINTED FLAT BLACK (STEEL TO BE 6.5 mm GAUGE).
7. ALL METAL COMPONENTS TO BE HOT DIPPED GALVANIZED.



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Template 8: Standard Notes and Details for Industrial and Commercial Applications (to be shown on site plan drawings)

TOWN OF CALEDON
SCHEDULE "B" TO BY-LAW NO. 93-31

DESIGNATED FIRE ROUTE SIGN STANDARDS

REFLECTORIZED RED CIRCLE AND DIAGONAL

BLACK

WHITE REFLECTIVE BACKGROUND

BLACK BORDER

BLACK

1. All signs required by this By-law shall be printed on a 30 cm by 45 cm sign blank and shall display a format as illustrated below and as required by Section 2 of this schedule.
2. Signs shall be placed at each limit of a designated fire route and shall display single headed arrows pointing in the direction of such designated fire route. Signs displaying double headed arrows shall be placed at intermediate points along a designated fire route no further than 30 metres apart.
3. Signs shall be erected on a sign post anchored securely to the ground or a platform capable of holding the sign erect during all weather conditions. The maximum height of signs shall be no greater than 3.0 metres and the minimum height of signs shall be no less than 2.0 metres above the wearing surface of the designated fire route.
4. Signs shall be erected on the boulevard of a designated fire route so that no part of the sign is closer than 30 cm to the adjacent curb nor further than 3.0 metres from the curb. Where there are no curbs, no part of the sign shall be closer than 1.0 metre nor further than 3.0 metres from the edge of the adjacent pavement or travelled road.

PRESCRIBED SIGNS FOR PARKING SPACES DESIGNATED UNDER A MUNICIPAL BY-LAW FOR THE USE OF DISABLED PERSONS.

BLACK LETTER "P", LEGEND, AND BORDER

2 cm RED REFLECTIVE ANNULAR BAND

1.5 cm RED REFLECTIVE INTERDICTORY STROK

WHITE REFLECTIVE BACKGROUND

BLUE REFLECTIVE BACKGROUND AND OUTLINE

WHITE REFLECTIVE SYMBOL AND BORDER

Section 5: Contact List

Town of Caledon
6311 Old Church Road
Caledon, ON
L7C 1J6
T: 905.584.2272
F: 905.584.4325

Planning and Development

Sylvia Smith Kirkwood, Manager of Development	x 4223
Casey Blakely, Senior Development Planner	x 4202
Eric Conley, Senior Planner	x 4222
Jana Kelemen, Senior Development Planner/Urban Designer	x 4291
Ruth Conard, Community Development Planner	x 4289
Brian Lauder, Community Development Planner	x 4246
Michael Rajk, Community Development Planner	x 4242
Stephanie McVittie, Intermediate Development Planner	x 4253
Cheryl Staeger, Development Assistant	x 4249

Heritage

Sally Drummond, Heritage Resource Officer	x 4243
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Zoning

Sandra Morrison, Zoning Administrator	x 4241
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Legal

Jennifer Micelli, Law Clerk	x 4120
Patricia De Sario, Conveyancing Solicitor	x 4158

Building

Glenn Middlebrook, Chief Building Official	x 4234
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By-law & Property Standards

Glenn Blakely, Manager of By-law Enforcement & Property Standards	x 4287
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Public Works & Engineering

Estelle Willard, Site Plan Coordinator	x 4206
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Landscape

Janet Sperling, Landscape Project Coordinator	x 4236
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Economic Development

Norm Lingard, Manager of Economic Development	x 4010
Ben Roberts, Economic Development Officer	x 4011
Sandra Dolson, Economic Development Officer	x 4152

Section 5: Contact List

Region of Peel
10 Peel Centre Drive
Brampton, ON
L6T 4B9
T: 905.791.7800

Planning

Kennedy Self, RPP	x 4418
Ryan Vandenburg	x 4612

Transportation

Damian Jamroz	x 7856
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Water

Mark Schiller	x 4394
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Wastewater

Ric Robertshaw	x 4404
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Waste Management

Andrew Pollock	x 4703
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Public Health

General Healthline Peel	905.799.7700
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Well Water Sampling

Brampton/Caledon	x 2800
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Environment (Toxic Chemicals, Spills, etc)

E. Vismantas	x 3103
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Section 5: Contact List

Ministry of Transportation	416.235.4592
1201 Wilson Avenue 7 th Floor, Building 'D' Downsview, ON M3M 1J8 Ted Lagakos ted.lagakos@ontario.ca	
Toronto and Region Conservation Authority	416.661.6600
5 Shoreham Drive Downsview, ON M3N 1S4 Jason Wagler x 5743 Jwagler@trca.on.ca Adam Miller x 5244 Amiller@trca.on.ca	
Credit Valley Conservation	905.670.1615
1255 Old Derry Road Mississauga, ON L5N 6R4 Liam Marray x 239 Lmarray@creditvalleycons.com Richard Clark x 275 Rclark@creditvalleycons.com	
Niagara Escarpment Commission	905.877.5191
232 Guelph Street Georgetown, ON L7G 4B1 Michael Baran x 233 Michael.baran@ontario.ca	
Hydro One	519.941.1211
40 Olympic Drive Dundas, ON L9H 7P5 Bob Harper x 3246 Rharper@hydroone.com	

Section 5: Contact List

Bell Canada

416.296.6929

Right of Way Control Centre
100 Borough Drive
Floor 5 – Blue
Scarborough, ON
M1P 4W2
John LaChapelle
rowcentre@bell.ca

Enbridge Gas Distribution

416.758.7924

P.O. Box 650
Scarborough, ON
M1K 5E3
Wm. J. Coldicott
Bill.coldicott@enbridge.com

Roger's Cable

244 Newkirk Road
Richmond Hill, ON
L4C 3S5
Manager, OPE

GO Transit

416.869.3600 x5322

Stakeholders Relations
20 Bay Street
Suite 600
Toronto, ON
M5J 2W3
Andrea Gusen
Andrea.Gusen@gotransit.com