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**Town of Caledon**

**COMMUNITY DESIGN  
AND ARCHITECTURAL DESIGN GUIDELINES**  
*Caledon East*

prepared by:  
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revised 22 September 2000  
revised 6 October 2000  
revised 12 October 2000

**APPROVED BY COUNCIL - 16 OCTOBER 2000**

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## **SECTION 1.0 INTRODUCTION**

### **1.1 PREAMBLE**

The Secondary Plan for Caledon East was approved in May, 2000, providing a detailed framework for expected growth to the year 2021. As the administrative centre of the Town of Caledon, Caledon East is predicted to reach a population of 8,400 in this time frame.

The vision for Caledon East expressed in the Secondary Plan is to maintain/create the appearance of a rural small town with a vibrant commercial core surrounded by tree-lined, pedestrian-friendly and safe residential areas. Caledon East should be recognized as the Capital of the Town of Caledon, a recreational centre and as a site of natural beauty.

The land use structure in the Secondary Plan supports the vision and provides a detailed framework focussing on the development of new residential areas. To provide additional direction and guidance, the Secondary Plan requires the preparation of *Community and Architectural Design Guidelines* for the mixed use and residential areas of Caledon East.

The purpose of the *Community and Architectural Design Guidelines* is to provide a mechanism for implementing the Community Design policies and principles of the Secondary Plan. It will be used as a reference to gauge the compatibility and appropriateness of proposed buildings prior to the issuance of site plan approval drawings and building permits. The Guidelines will ensure that an overall structure to development within the community is followed, that there is compatibility among building forms and materials, that there is the opportunity for uniqueness

and innovation, and that the architecture reflects the overall design objectives for the community.

The following document provides guidelines for community design and architecture that applies to new residential development within Caledon East within all of the land use designations in the Secondary Plan and Official Plan. Site-specific guidelines shall have precedence over the more general guidelines.

### **1.2 SITE CONTEXT**

The historic centre of Caledon East is situated at the intersection of Airport Road and Old Church Road in the Town of Caledon. The boundaries of the settlement area can be seen in Figure 1.

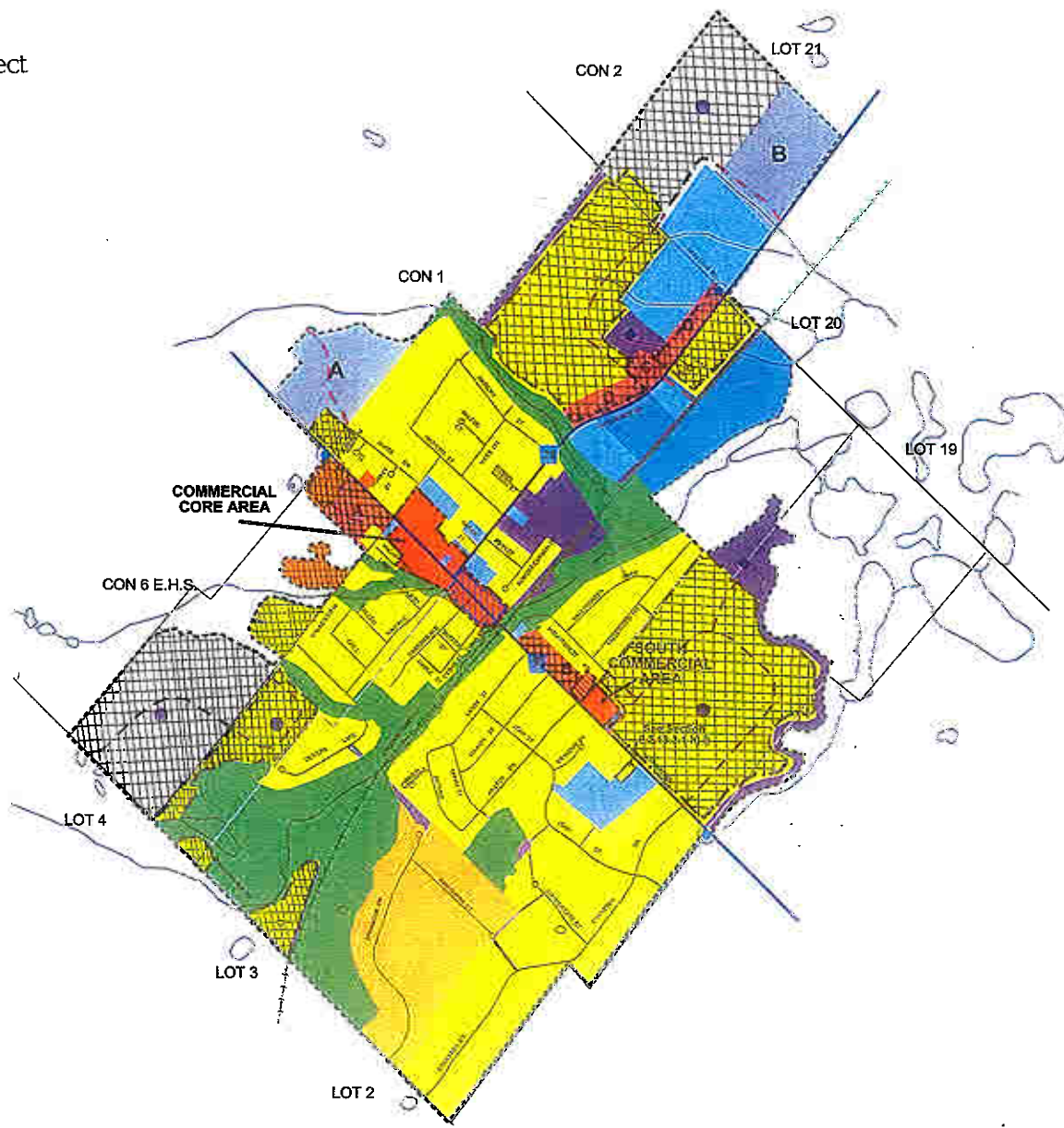
The settlement is designated as a Rural Service Centre, and will serve as a primary growth area. The lands subject to the *Community and Architectural Design Guidelines* consist of the new residential and mixed use areas shown in Figure 1.



New Residential Areas subject to these guidelines

**LEGEND**

- MEDIUM DENSITY RESIDENTIAL
- LOW DENSITY RESIDENTIAL
- SPECIAL RESIDENTIAL
- POLICY AREA - RESIDENTIAL
- GENERAL COMMERCIAL
- SPECIAL USE AREA
- POLICY AREA - COMMERCIAL
- FLOOD POTENTIAL STUDY AREA
- INSTITUTIONAL
- SPECIAL STUDY AREA
- ENVIRONMENTAL POLICY AREA (REVISED NOV. 99)
- OPEN SPACE POLICY AREA
- OPEN SPACE/INSTITUTIONAL POLICY AREA
- 2021 SETTLEMENT BOUNDARY
- RIVERS, STREAMS & PONDS
- LOT & CONCESSION LINES
- LOCAL ROADS
- REGIONAL ROADS
- CALEDON TRAILWAY
- CONCEPTUAL VEHICULAR CONNECTION
- GATEWAY FEATURES
- CONCEPTUAL PARKETTE LOCATION
- CONCEPTUAL NEIGHBOURHOOD PARK LOCATION



### **1.3 OBJECTIVES**

The Secondary Plan for Caledon East provides a list of overall objectives (section 7.7.2), a list of community values based on a public participation process (section 7.7.4) and a list of community design principles (section 7.7.4). The Caledon East Streetscape Concept and Architectural Guidelines for the commercial core, completed in 1993, also provides direction for the future development along Airport Road and Church Street.

Based on the above documents, a list of objectives for new residential and mixed used areas has been generated, serving as the basis for the *Community Design and Architectural Guidelines*, as follows:

- 1.3.1** To create a high standard of architectural siting, detail and styling that enhances the rural character of Caledon East.
- 1.3.2** To promote the use of building materials, finishes and styles that are in keeping with the historical character of the community and the recent development.
- 1.3.3** To encourage a mixture of lot sizes and housing types for a diverse spectrum of home buyers.
- 1.3.4** To provide the opportunity for innovation in design details.
- 1.3.5** To promote the orientation and detailing of buildings that respond to the streetscape, open space corridors and the downtown commercial core.
- 1.3.6** To assure a harmony of exposed external materials with no jarring contrasts.
- 1.3.7** To minimize the visual impact of the garage in housing design and promote traditional building enhancements such as porches, gates, trellises, canopies and hedges.
- 1.3.8** To create safe, pedestrian-friendly streetscapes that enhance the sense of community.

## SECTION 2.0 COMMUNITY ARCHITECTURAL GUIDELINES

### 2.1 HISTORICAL PRECEDENTS

The historical residences in Caledon East exhibit characteristics of the architectural styles common in the mid to late 1800's, such as Gothic Revival, Queen Anne and Italianate, and Edwardian in the early 1900's. To create new residential areas that are complimentary with the historic architectural styles, the following guidelines apply:

- 2.1.1 New residential buildings should be based on simple (eg. Edwardian) or compound (eg. Queen Anne) house shapes.
- 2.1.2 Gabled or hipped roofs may be used. Intermixing will be carefully considered within the context of the historic styling.
- 2.1.3 Front and cross-gabled roofs with a medium to steep pitch are encouraged.
- 2.1.4 Buildings are encouraged to be constructed of the local vernacular (buff or red brick) and have covered porches using material in keeping with the historical style.
- 2.1.5 Architectural detailing (quoins, decorative verge boards, bay windows, patterned/coloured brickwork, arched masonry) shall enhance facades and provide visual interest.
- 2.1.6 Windows are encouraged to have a slight arch with decorative masonry at the top in keeping with the local vernacular.
- 2.1.7 One-storey wood porches with decorative spindlework are encouraged.

*Cranston Moses Graham House, Airport Road -- Exhibiting characteristics of the Gothic Revival and Queen Anne styles, this home has a buff brick exterior with a simple facade treatment. Variations are expressed in the roof line (cross gables), bay window, and wrap-around porch.*



*Allison's Grove, Airport Road - This Gothic Revival home has a cross-gabled roof layout with a steep pitch, complemented by decorative verge boards, quoins, patterned brickwork and a spindlework porch.*



*Cranston Freeborn House, Antrim Court - The original hip roof, reminiscent of the Italianate style, was replaced by a low pitch gable roof. Other modifications include the addition of a front door, garage, wood shingles and shutters.*





*Cedar Street -- This Queen Anne, front-end gabled house has a decorative, full-length spindlework porch. The slightly curved windows with arched masonry can be seen on many historic houses in Caledon East.*



*Cranston Drive -- This new home represents an appropriate adaptation of the historical precedents, with buff brick, cross-gables, decorative masonry over the windows, and decorative verge boards.*



*Oliver's Lane -- Where appropriate, new residential development may reflect existing modern styles, such as this shed-style home.*

## 2.2 ARCHITECTURAL STYLES

To promote a mixture of architectural styles that enhances the character of the community, the following guidelines apply:

- 2.2.1 The predominant architectural styles for new residential development shall be based on Gothic Revival, Queen Anne, Italianate, and Edwardian styles as outlined in Section 2.1. These styles should be clearly in evidence as alternative elevations for a model when designs are submitted to the Control Architect.
- 2.2.2 Other styles may be considered in isolated pockets where in keeping with existing adjacent development, including Italianate, Tudor, Shed and Modern, but should not be mixed with historical styles.
- 2.2.3 Stylistic consistency should be expressed on each dwelling. A combination of styles on the same façade or structure is discouraged.
- 2.2.4 Elevations should be articulated in a manner that reinforces common architectural characteristics throughout the development.
- 2.2.5 There should be a greater proportion of opening (windows, porches, house doors) to solid.
- 2.2.6 For additions and alterations to significant heritage buildings or sites, the original building fabric and architectural features shall be retained. New additions, including garages and carports, shall be no higher than the existing building, and placed to the rear or substantially setback from the principal facade. Alterations to principal facades shall be avoided.

### 2.3 MAIN STREET ARCHITECTURE

To ensure that there are attractive alternatives for new residential development along the Main Streets in Caledon East, the following guidelines apply to new residential development along Airport Road, Old Church Road and Walker Road:

2.3.1 Buildings should be oriented toward the Main Streets.

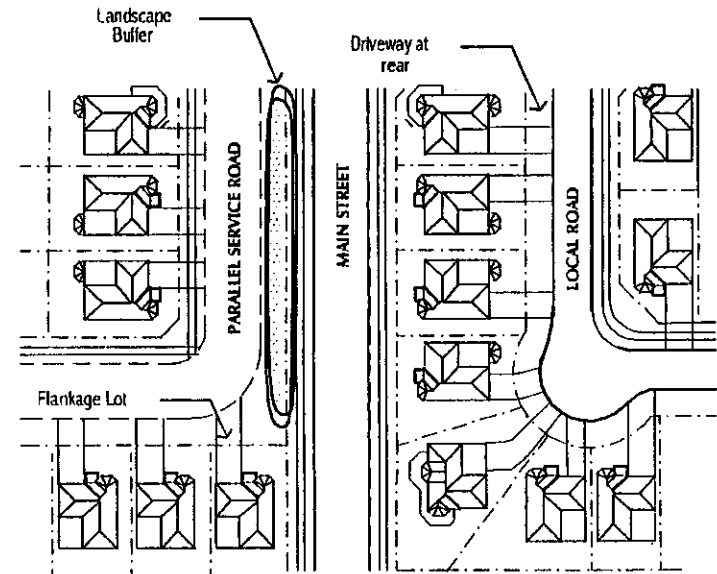
2.3.2 Where driveway access is not permitted onto a Main Street, the building should have driveway access from:

- a) a parallel service road (all building types)
- b) a local road along the rear lot line (single detached dwellings only)

2.3.3 Where a building flanks onto a Main Street, the façade should contain an entry feature, generous fenestration and upgraded architectural detailing in keeping with the character of the front façade.

2.3.4 Reverse lot frontage will not be permitted.

2.3.5 The visual impact of the garage should be minimized through recessing it behind the front building wall and integrating it into the building massing.



DRIVEWAY ACCESS ALONG MAIN STREETS

**2.4 COMMUNITY GATEWAYS**

Three Community Gateways are shown in the Secondary Plan, see Page 2. To ensure that new residential development enhances the community gateways, the following guidelines apply to Community Gateway Lots.

- 2.4.1** Residential development should have significant massing and/or size to create a significant architectural edge. Large single detached dwellings on large lots are preferred.
- 2.4.2** Architectural detailing at Community Gateway Lots should be highly articulated and representative of the entire community.
- 2.4.3** A similar degree of architectural detailing and an entrance feature should be used on all elevations visible from Airport Road, Innis Lake Road or Old Church Road.
- 2.4.4** Special attention should be given to visual variety and material finish on all exposed elevations.
- 2.4.5** Wrap-around porches are encouraged.
- 2.4.6** Garages should be recessed, incorporated into the building massing, be detached and/or situated at the rear of the unit.
- 2.4.7** Buildings should be a minimum of 2.5 storeys, and have two complete storeys of livable space.
- 2.4.8** Buildings on Community Gateway Lots will be subject to the approval of Landscape Plans detailing significant

landscape features such as plantings, front yard fencing and/or architectural feature such as a trellis, walls or a pergola.

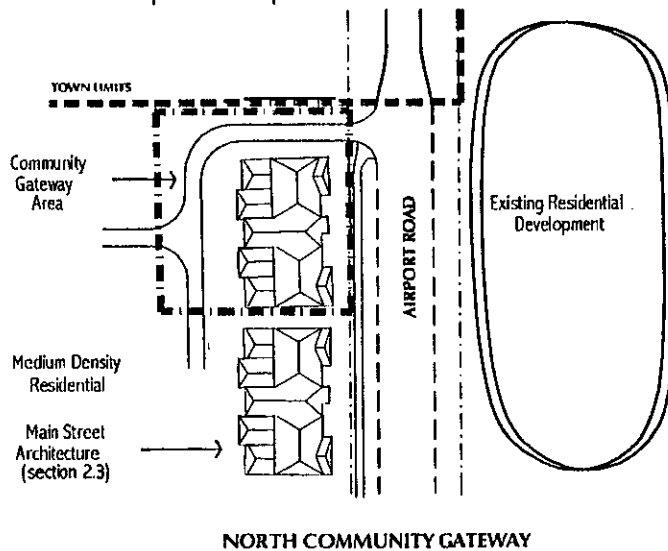
- 2.4.9** Landscaping on the public right-of-way should be in keeping with the approved Department of Infrastructure standards regarding signage, planting and hard surface treatments at Community Gateways.

**North Community Gateway**

**2.4.10** To minimize the visual impact of the garage and maximize the architectural character of the new residential buildings, the following lot types are preferred on Community Gateway Lots:

- a) wide lots (provided that driveway access onto Airport Road is permitted by the Region of Peel.)
- b) lots with frontage on a parallel service road
- c) flankage lots
- d) lots with driveway access from the rear
- e) condominium development with driveway access and outdoor amenity space at the rear

**2.4.11** The west side of Airport Road should be upgraded between the Gateway and Walker Road by removing the ditch and installing a landscaped boulevard with a sidewalk and Street Trees in accordance with the Caledon East Streetscape Concept.

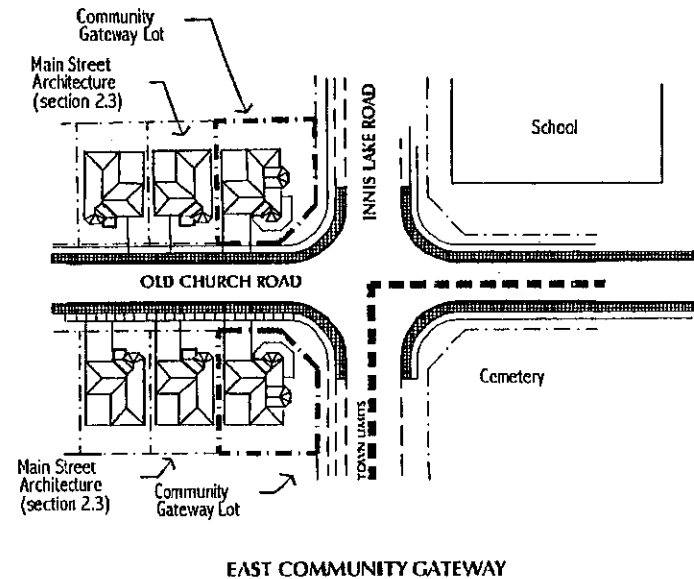


**East Community Gateway**

**2.4.12** To minimize the visual impact of the garage and maximize the architectural character of the buildings, the following housing forms are preferred on Community Gateway Lots:

- a) wide lots with single detached dwellings (provided that driveway access onto Airport Road is permitted by the Region of Peel.)
- b) wide lots with driveway access from the rear

**2.4.13** Old Church Road should be upgraded. The same landscaping details existing adjacent to the Robert F. Hall Catholic Secondary School should extend eastward to the Community Gateway Lots, in accordance with the Caledon East Streetscape Concept.

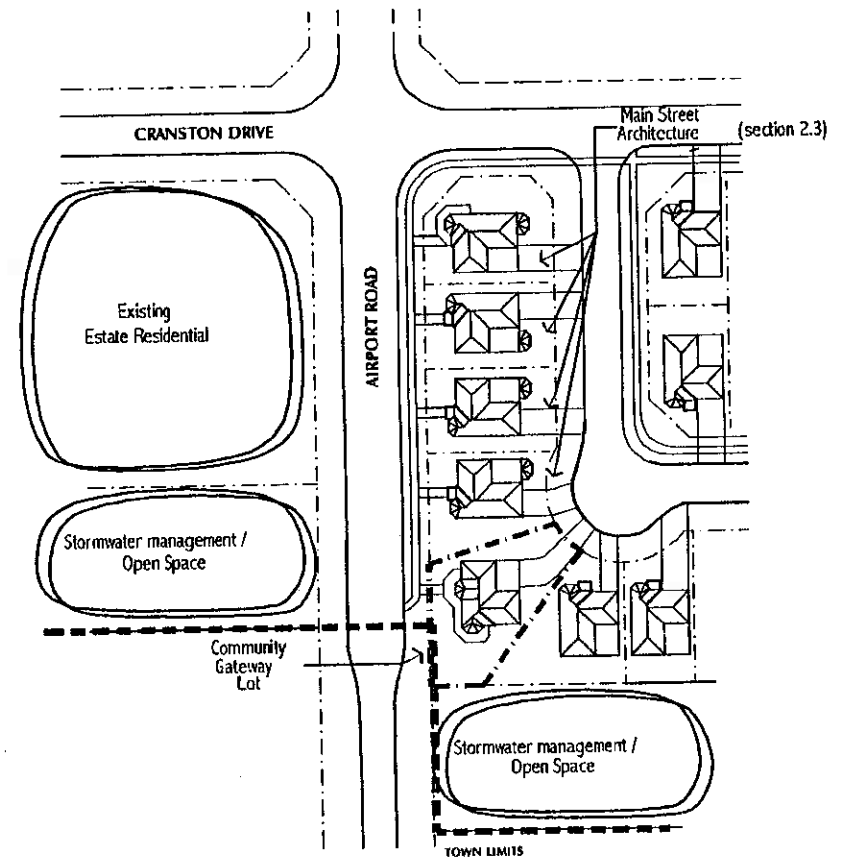


**South Community Gateway**

**2.4.14** To minimize the visual impact of the garage and maximize the architectural character of the new residential buildings, the following housing forms are permitted on Community Gateway Lots:

- a) wide lots with single detached dwellings (provided that driveway access onto Airport Road is permitted by the Region of Peel.)
- b) wide lots with frontage on a parallel service road
- c) flankage lots
- d) wide lots with driveway access from the rear
- e) condominium development with driveway access and outdoor amenity space at the rear

**2.4.15** The east side of Airport Road should be upgraded by removing the ditch and installing a landscaped boulevard with a sidewalk and Street Trees, in accordance with the Caledon East Streetscape Concept.



**SOUTH COMMUNITY GATEWAY**

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

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**2.5 PARKS, TRAILS AND OPEN SPACE ARCHITECTURE**

To ensure that new residential development is complementary with the open space system in Caledon East, the following guidelines apply for those lots adjacent to parks, trails, open space, walkways and stormwater management facilities: Where public access is not encouraged in the open space, there will be no requirement for upgraded elevations.

- 2.5.1 All elevations visible from public open space shall be upgraded and reflect the character and materials used in the front façade treatment.
- 2.5.2 For lots with rear or side yard frontage on public open space, extensive glazing and exact window and single door styles used on the front facade must be repeated on visible portions of side and rear facades.
- 2.5.3 Variations in roof styles, colour or material should be used on abutting lots extending along an open space feature to provide a break in long expanses.
- 2.5.4 Front entries should be oriented toward the street. An entry feature should be incorporated into exterior side facades facing the open space.
- 2.5.5 Garages should be oriented away from the open space feature.
- 2.5.6 Walkways between residential buildings should contain upgraded rear yard privacy fencing in keeping with the Town development standards.

- 2.5.7 Houses that front onto a public roadway that constitutes a trail connection in the open space system are encouraged to have upgraded landscaping on the private property. Builders are encouraged to offer a landscape package to homeowners in these locations.

**2.6 COMMUNITY SAFETY**

Architectural designs should conform to the principles of CPTED (Crime Prevention Through Environmental Design) to enhance community safety.

- 2.6.1 The "eyes on the street" concept should be promoted by designing elevations with generous fenestration facing all streets, parks, walkways and trails, and installing generous front porches.
- 2.6.2 All entries should be illuminated.
- 2.6.3 Entries or front porches should be recessed a maximum of 1.5m from the main building wall to avoid a tunnel-like effect.

**2.7 RESIDENTIAL INFILL AND ADDITIONS**

To ensure that new residential development is compatible with the existing architectural character, the following guidelines apply to infill houses and house additions within the existing town fabric:

- 2.7.1 New houses and additions should fit the scale and character of the immediate physical locale and streetscape by having the following characteristics:

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

- similar height and width of adjacent buildings
  - similar orientation of roof gables
  - similar setback
  - similar materials and colours
  - similar proportioned windows, doors and roof shape.
- 2.7.2** Garages and carports should be no higher than the dwelling, and placed to the rear or substantially setback from the principal façade. Garages and carports will not be permitted to form part of the front building façade, unless in keeping with the architectural style in the surrounding neighbourhood.
- 2.7.3** Where infill development proposes an intensification of building height or density, the development will be subject to the applicable intensification policies in the Official Plan.

**2.8 SPECIAL USE AREAS**

The following guidelines apply to the four Special Use Areas designated in the Caledon East Secondary Plan, see Figure 1 for location:

**Special Use Area "A"**

The Allison's Grove site is a Designated Heritage Property under the Ontario Heritage Act that will be developed as an attractive entrance to the Commercial Core of Caledon East. The following guidelines apply to new development that may include additions to the existing heritage home pictured on page 4 and/or separate buildings:

- 2.8.1** All development will conform to the Caledon East Streetscape Concept and Architectural Guidelines prepared for the Commercial Core.
- 2.8.2** Additions and alterations to the Allison's Grove heritage home shall be architecturally compatible with the existing building and will be subject to approval by the Caledon Heritage Committee and the Heritage Resource Officer.
- 2.8.3** New buildings shall be either of the same Gothic Revival style and materials as the existing heritage home or resemble the compatible outbuildings (coach houses, sheds, barns, etc) of the same historical period.
- 2.8.4** Buildings constructed in the style of the 19<sup>th</sup> century outbuildings will be encouraged to have timber frame verandas and dormers.

**Special Use Area "B"**

The following guidelines apply to new development which may include the conversion of existing buildings to residential uses or intensification through infill development or additions:

- 2.8.5** All development will be subject to the residential infill and additions section of this document (section 2.7) as well as the Caledon East Streetscape Concept and Architectural Guidelines prepared for the Commercial Core, where applicable.

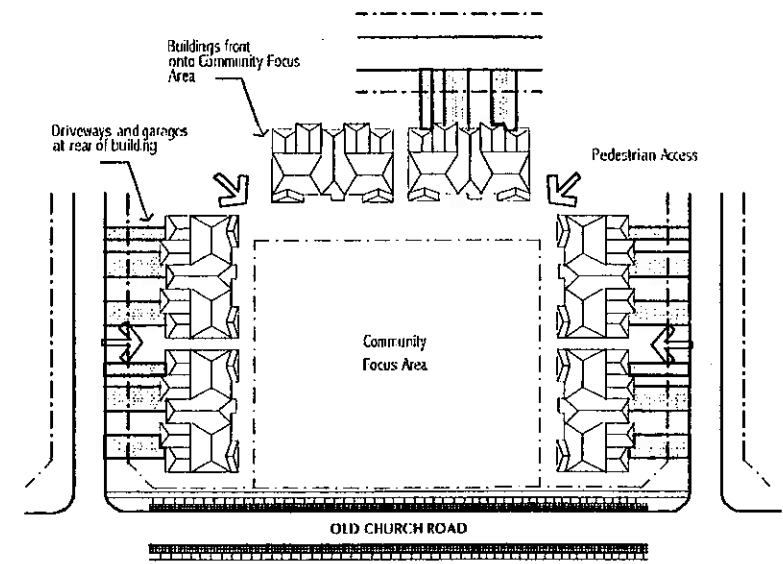
### **Special Use Area "C"**

The Community Focus Area is proposed to be developed as a Town Square containing landscape open space surrounded by mixed-use, townhouse buildings on the north, west and east sides. The south side will be adjacent to Old Church Road. The following guidelines apply to the mixed-use buildings to be constructed around the perimeter of the Town Square (also see Section 5.11 and 5.12):

- 2.8.6** The architectural style, reflected in the roof line, colours, materials, fenestration and architectural detailing, should reflect the historical precedents in Caledon East (see section 2.1 and 2.2).
- 2.8.7** Buildings are encouraged to have ground-floor commercial uses. Ground-floor commercial units may have a 1.0m front yard setback where it can be demonstrated that this solution enhances the character of the Town Square.
- 2.8.8** The principal façade will be oriented toward the Town Square, containing a main entry and generous fenestration. Upper floors may contain balconies.
- 2.8.9** Rear and side facades will contain the same level of detail as the front façade where visible from the public domain. The rear façade should be residential in character, and may contain ground-floor entries and balconies.
- 2.8.10** Garages are encouraged to be integral to the building on the rear façade and may contain roof-top patios. Detached garages located at the rear and fronting onto a

Local Road are also permitted. Garages and driveways will not be visible from the Town Square.

- 2.8.11** For the front façade, the ground floor should be distinguished from the upper floors through the use of awnings, decorative masonry, porches, or a maximum 1.8m second and upper storey setback.
- 2.8.12** The Town Square will be subject to a detailed design study, and include provisions for parking and landscaping.



**Special Use Area "D"**

The following guidelines apply to the development located adjacent to the proposed Town Square along Old Church Road, which may include residential, small scale office and personal service commercial and institutional uses:

- 2.8.13** All development will be subject to the Caledon East Streetscape Concept and Architectural Guidelines prepared for the Commercial Core, where applicable.
  
- 2.8.14** Buildings other than freestanding institutional uses, such as churches, shall be designed in conformity with these guidelines.

### **3.0 STREETSAPES**

Road profiles and landscape plans have been previously prepared for the Main Streets in Caledon East. The following guidelines apply to landscaping along new local internal streets:

#### **3.1 LOCAL ROADS**

To create new roads that are in keeping with the rural character of the community, the following guidelines apply:

**3.1.1** Local Roads should have the right-of-way and landscaping in keeping with the Town of Caledon standards (currently 20.0m), with the following exceptions:

- a) a sidewalk should be located on one side of the road only, set 1.0m from the right-of-way line.

**3.1.2** A sidewalk should be located on the boulevard adjacent to a park or school site.

#### **3.2 STREET FURNITURE AND COMMUNITY MAIL BOXES**

To ensure that elements within the streetscape enhance the town character, the following guidelines apply:

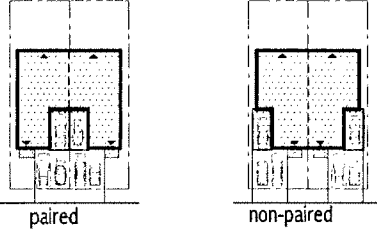
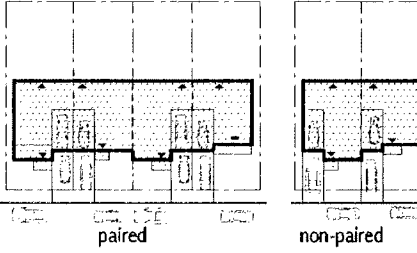
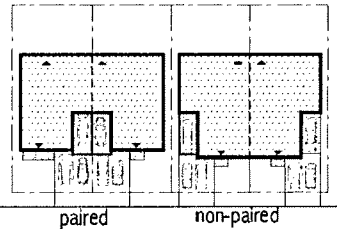
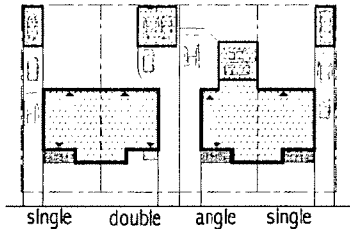
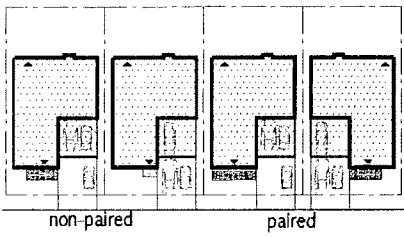
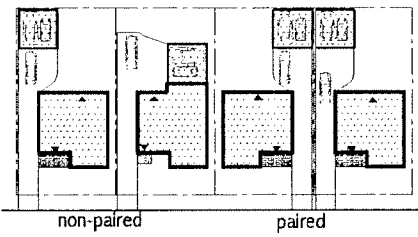
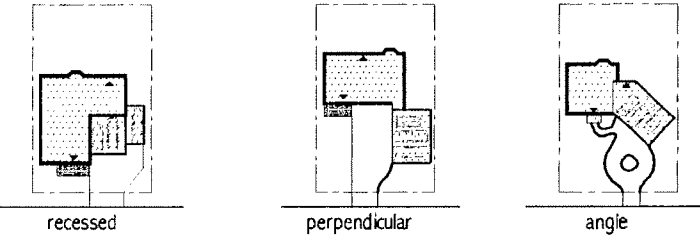
**3.2.1** Vending machines, trash receptacles should be placed in strategic locations, such as adjacent to commercial properties, trail entries, significant intersections, parks and school sites.

**3.2.2** Utility boxes and community mail boxes should be placed in the least visible locations, such as on lot flankages.

**3.2.3** Community mail boxes should be connected to the sidewalk or street by a hard surface material such as concrete, asphalt, interlocking pavers or limestone screenings.

**3.2.4** Plant material should screen community mail boxes and enhance the view.

PREFERRED DRIVEWAY LOCATION AND SIZE ACCORDING TO LOT FRONTAGE

Lot Frontage	Single Detached Dwelling	Semi - Detached Dwelling	Townhouse
9.0 - 12.0m (30.0' - 39.9')	N.A.	<p>Single garage with double driveway</p>  <p>paired non-paired</p>	<p>Single garage with double driveway</p>  <p>paired non-paired</p>
12.1 - 15.0m (40.0' - 49.9')	45 ft. lots permitted in medium density areas with single garage as per the graphci to the right	<p>Single garage with double driveway</p>  <p>paired non-paired</p> <p>Single or double detached garage at rear</p>  <p>single double angle single</p>	N.A.
15.1 - 18.0m (50.0' - 59.9')	<p>Double garage with double driveway</p>  <p>non-paired paired</p> <p>Single or double detached garage at rear</p>  <p>non-paired paired</p>	N.A.	N.A.
<18.1m < 60.0'	<p>Triple garage with double driveway</p>  <p>recessed perpendicular angle</p>	N.A.	N.A.

## 4.0 NEIGHBOURHOOD ARCHITECTURAL GUIDELINES

### 4.1 STREET PATTERN AND BLOCKS

To create a community that fosters pedestrian activity, connectivity and social interaction, the following guidelines apply:

- 4.1.1 The street and lot layout in plans of subdivision and condominium should allow sufficient views into parks, schools and significant natural features and landmarks.
- 4.1.2 Street layout should respect the natural contours of the land and minimize grading.
- 4.1.3 An interconnected local road network is preferred. Cul-de-sacs should be avoided.
- 4.1.4 The open space system should be used as an organizing element for subdivision design. The street layout, block pattern and building orientation should enhance connections to the open space system.
- 4.1.5 Blocks should generally be no longer than 250 m to promote an efficient road network.

### 4.2 LOT SIZE AND BUILDING TYPES

To create a community that provides housing options for a variety of lifestyles, the following guidelines apply:

- 4.2.1 A mix of lot sizes and housing types is encouraged for each development site.

- 4.2.2 A mix of housing types and lot types are encouraged in each development block.

- 4.2.3 All lot dimensions and setbacks will be in accordance with the Zoning By-law for the Town of Caledon East.

- 4.2.4 All housing units must accommodate three parking spaces. These must be provided in accordance with the Caledon East Department of Infrastructure standards. Based on this criteria, the following housing types are encouraged:

- townhouses (freehold) – minimum frontage 7.5m (25 ft.)
- semi-detached houses – minimum frontage 9.0m (30 ft.)
- single detached houses – minimum frontage 15.0m (50 ft.)  
*(For single detached houses, a lot size of 13.7m (45 ft) is permitted in medium density designations where the lot fronts onto a public road)*

### 4.3 GARAGE, DRIVEWAY SIZE AND ORIENTATION

To create a community where the visual impact of the garage is minimized, yet sufficient parking is provided, the following guidelines apply:

- 4.3.1 Garages may be either integral to the building or detached.
- 4.3.2 Access to the garage will be from a driveway from the front, exterior side or rear lot line (abutting a Local Road).
- 4.3.3 The following chart illustrates the recommended driveway and garage size according to lot size and housing type, based on section 4.2.4 above:

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES****4.4 BUILDING HEIGHT**

To ensure that the flow of buildings is harmonious and each one fits in with the rural town character, the following guidelines apply:

- 4.4.1 Residential buildings may vary in size from 1 to 2.5 storeys for single detached dwellings, semi-detached dwellings and townhouses, and up to three storeys for stacked townhouses and mixed use commercial/residential buildings.
- 4.4.2 Two or more bungalows (1 to 1.5 storeys) should be situated side by side on a street to offset the height differential to adjacent higher buildings.

**4.5 PROMINENT LOT LOCATIONS**

To emphasize the architectural quality within residential neighbourhoods, the following criteria apply to buildings on prominent lots: *(For Community Window Lots, refer to Section 2.3 Main Street Architecture; for Gateway Lots, refer to Section 2.4 Community Gateways; for Rear and Side Upgraded Lots, refer to Section 2.5 Parks, Trails and Open Space.)*

- 4.5.1 Bungalows are generally not permitted in prominent lot locations. Consideration to do so must have prior consultation with the Control Architect.

**Community Corner Lots**

- 4.5.2 Community Corner lots occur at the entrance to a neighbourhood created in the new residential areas of Caledon East along a main street.

- 4.5.3 Architectural detailing, height and massing should be maximized (over and above the architecture of the community within.)

- 4.5.4 Similar architectural detailing should be used on both facades visible from the street. Special attention should be given to details such as the entry, choice of materials and generous fenestration of exposed sides.

- 4.5.5 Rear elevations should be upgraded.

- 4.5.6 A front door or an entrance feature such as French windows should be located on the exterior side elevation.

- 4.5.7 The use of well-proportioned windows and wrap-around or significant porches is encouraged.

**Corner Lots**

- 4.5.8 Corner Lots occur at the corners of intersecting streets within a neighbourhood, and are subject to the above provisions for Community Corner Lots except for 4.5.3.

**Cul-de-Sac and Elbow Lots**

- 4.5.9 Cul-de-sac Lots occur on the exterior curve where a cul-de-sac road terminates, and Elbow Lots occur on curved streets where roads change direction.

- 4.5.10 A majority of houses should have a front porch **which** should be carefully integrated with the garage to produce a harmonious elevation.

- 4.5.11 Visual variety in exposed elevations is encouraged.

**T-intersection and Mid-Block Lots**

**4.5.12** T-intersection Lots occur at the terminus of a T-intersection, and Mid-Block Lots occur midway between road intersections where there are more than 8 adjacent dwellings.

**4.5.13** Those facades visible at the terminus of a T-intersection and in Mid-block locations should exhibit a high degree of architectural detailing. Special attention should be given to details such as the entry, choice of materials and increased fenestration.

**4.5.14** Driveways should not be paired for the units located at the terminus of the "T" to provide the opportunity for front yard landscaping.

**4.5.15** Garages should be recessed or incorporated into the building massing.

**4.5.16** For Mid-Block Lots, the roof line should be significantly different in form from the adjacent dwellings, yet harmonious in character.

**4.5.17** For Mid-Block Lots, the dwellings should have features such as towers and dormer windows, and are encouraged to have different roof pitches than the adjacent houses.

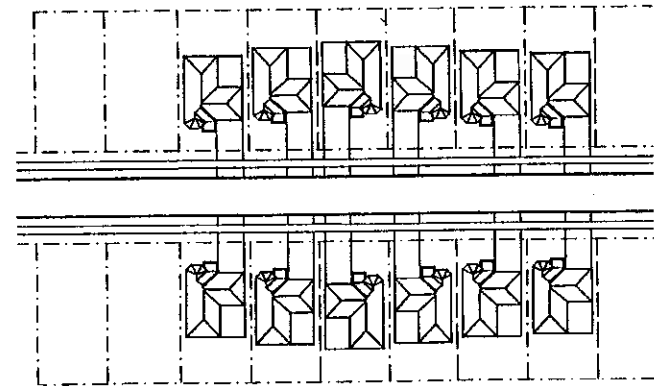
**4.6 MASSING**

To ensure that the placement and design of buildings creates a varied, yet coordinated streetscape, the following guidelines apply:

**4.6.1** For townhouse blocks, the massing should create a distinction between abutting blocks.

**4.6.2** Clusters of similar architectural treatment may be used within a residential block. Clusters should consist of five to eight units located on both sides of the street (for a total of 10-18 units) that are compatible in massing. While units shall have their own architectural individuality, the group must function as a whole. The unifying features are:

- a) architectural style and historical detailing
- b) harmony of colour or the architectural style
- c) roof slopes and compatibility of materials



**HOUSING CLUSTER**

**4.6.3** Clusters should have variations in setbacks and massing within the cluster.

**4.6.4** Special architectural detailing should be created midway through the cluster to provide visual variety.

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

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**4.6.5** The edges of a cluster should have more architectural detailing than the interior units in the cluster.

**4.7 FENCING**

The following guidelines apply to rear and side yard fencing:

**4.7.1** Exterior side yard privacy fencing should not extend beyond the rear façade or in front of the exterior side elevation.

**4.7.2** Noise attenuation fencing should be decorative and accompanied by landscaping.

**4.7.3** For fencing design details, refer to "Infrastructure Development Standards," which can be obtained from the Infrastructure Department of the Town of Caledon.

**4.8 MODEL REPETITION**

To provide variety in the streetscape and encourage individuality in housing design, the following guidelines apply:

**4.8.1** Alternative elevations are required for each model and must be distinctly different for each individual unit in terms of materials, colours, façade details, fenestration style and placement, entry feature and/or rooflines.

**4.8.2** Individual model types must have their A and B elevations distinctly different from each other in terms of materials, colours, façade details, fenestration style and placement, entry feature and/or rooflines.

**4.8.3** No more than two identical elevations will be allowed side by side or across the street. If this situation does occur, the materials and colours must be distinctly different.

**4.8.4** The number of similar elevation types of the same model in a block (the houses situated between intersections on both sides of the street) is 30% maximum. Any row of ten houses on a street must contain at least three different model elevations.

**4.8.5** Up to three alternative front elevations, which are different in appearance will be required for popular models.

**4.8.6** A variety of roof silhouettes and shapes must be used within a block.

**4.8.7** A maximum of 34% of all houses within a block on a public street may be bungalows. Should the Builder wish to include more than 34% bungalows, a design exercise must be undertaken and approved to the satisfaction of the Control Architect. An exception may be made where a themed development consisting entirely of bungalows is proposed.

## **5.0 INDIVIDUAL HOME ARCHITECTURAL GUIDELINES**

The following guidelines apply to single detached houses, semi-detached houses or townhouses. See Section 5.14 for stacked townhouses and Section 5.15 for mixed-use buildings:

### **5.1 SETBACKS AND ENCROACHMENTS**

The Zoning By-Law for the Town of Caledon East contains provisions for setbacks and encroachments. For new residential development, the following guidelines should be used in the preparation of enacting Zoning By-Laws for each development:

- 5.1.1** Front yard setback for the main building wall of single detached houses, semi-detached houses and townhouses is 4.5m minimum.
- 5.1.2** The minimum setback for garages is 6.0m.
- 5.1.3** Front yard step encroachments should be no greater than 3 risers. Any further steps required should be enclosed within the building structure or be accompanied by a landscape plan to the satisfaction of the Town of Caledon.
- 5.1.4** Permitted encroachments into setback requirements (the details to be outlined in the enacting zoning by-law) include:
  - a) roofed porches with unenclosed sides
  - b) porch steps and handrails,
  - c) roof overhangs and eaves

- d) trellises, canopies and awnings
- e) bay windows

### **5.2 ELEVATIONS**

To create front, side and rear elevations that are interesting and have a distinctive character, the following guidelines apply:

- 5.2.1** The architectural style should be consistent on all exposed elevations.
- 5.2.2** There should be a greater proportion of opening (windows, porches, house doors) to solid on elevations exposed to the street.
- 5.2.3** The ground floor should be distinguished from upper storeys by subtle changes in materials, cladding, and fenestration on the front and side elevations.
- 5.2.4** Building projections such as bay windows, entry stoops, porches and roof extensions should be subordinate in scale to the main building façade.
- 5.2.5** Semi-detached units or adjacent townhouse units may have mirrored front elevations, but are encouraged to include porches, entries, windows and building materials that provide variation.
- 5.2.6** The massing of the garage and roof lines should be in harmony.

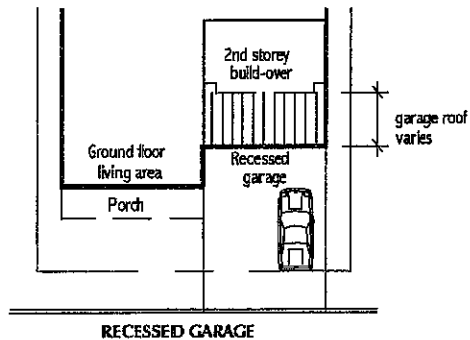
### 5.3 GARAGES

To create garages that enhance the architectural quality of the streetscape, the following guidelines apply:

**5.3.1** Garages are strongly encouraged to be flush or recessed behind the front wall and entry of the house, detached and situated at the rear of the lot, or attached at the rear of the house.



*Example of a porch protrusion combined with a second storey build-over. The front porch and main building wall are the dominant visual features*



**5.3.2** Garages will be setback a minimum of 6.0m, or as specified in the enacting zoning by-law.

**5.3.3** Generally, garages should not occupy more than 50% of the front width of a single detached dwelling. Where the 50% cannot be achieved due to lot frontage limitations, the garage must be minimized, eg. single garage.

### 5.4 GARAGE PROJECTIONS (2+ Storey Houses)

To minimize the visual impact of the garage, the following guidelines apply:

**5.4.1** A protruding garage will only be considered providing all of the following criteria are met:

- a) The garage does not project more than 2.0m beyond the main ground floor front building wall.
- b) The main ground floor living area or a front porch extends beyond the front of the garage, or is set back a maximum of 1.0m from the front of the garage.
- c) A covered porch substantially extends across the main living area and entry on the ground floor.
- d) A second storey build-over is constructed in accordance with the criteria below:

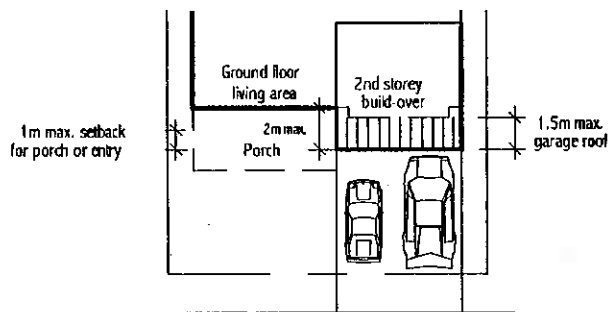
#### **Second Storey Build-Overs**

Second storey build-overs, required for protruding garages on 2-2.5 storey buildings, should be designed to provide interest and variety in the streetscape, and are subject to the following guidelines:

**5.4.2** Second storey build-overs should not be less than 70% of the outside garage width.

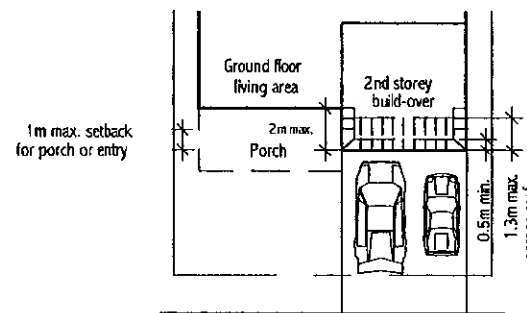
**Minimum Second Storey Build-Over**

- 5.4.3 a) The second storey build-over the garage can have a maximum setback of 1.5m from the front of the garage.  
 b) A maximum of 20% of houses on a street can have a "Maximum Second Storey Build-Over".



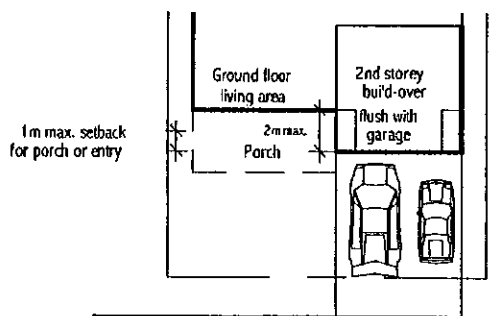
**Major Second Storey Build-Over**

- 5.4.5 a) The second storey build-over the garage is setback between 0.5 metres to 1.3 m from the front wall of the garage.  
 b) Between 20% and 90% of houses on a street can have a "Partial Second Storey Build-Over".



**Full Second Storey Build-Over**

- 5.4.4 a) The second storey build-over is flush with the front wall of the garage.  
 b) A maximum of 30% of houses on a street can have a "Full Second Storey Build-over."



**5.5 GARAGE PROJECTIONS (BUNGALOWS)**

To create bungalows and bungalow communities that enhance the architectural quality of the community, the following guidelines apply:

- 5.5.1 A protruding garage will only be considered providing the following criteria are met:
- The maximum projection of a garage beyond the major living area mass or front porch is 1.8 metres.
  - A covered porch substantially extends across the main living area on the ground floor.
  - In communities designed primarily for bungalows a variety of elevations are designed with varying

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

setbacks from the front of the garage to the major living area.

- d) In communities designed primarily for bungalows a minimum of 34% of the houses should have the front of the garage flush with, or recessed behind a porch or front entry to the main living area.

**5.6 GARAGE DESIGN**

To create garages, which enhance the design of the house, the following guidelines apply:

- 5.6.1** The design, character, materials and colours of garages must be in keeping with the architectural style of the dwelling.
- 5.6.2** Rooflines over protruding garages shall be articulated, visible and be complementary with the design of the building. Dormers are encouraged where their use is in keeping with the architectural style.
- 5.6.3** Garages may be recessed under a roofed balcony.
- 5.6.4** Glazed top panels in doors are encouraged, particularly in single doors over 3.6m in width.
- 5.6.5** The minimum garage roof pitch is 4/12. Where site grade conditions cause the garage slab to drop more than 600mm (2'-0") below what is indicated on the working drawings, an alternative design treatment must be submitted for approval by the Control Architect which may include the following preferred treatments:

- additional detailing or brick banding and soldier coursing
- arched masonry over the garage door.

**5.6.6** Double car garages are strongly encouraged to have single garage doors separated by masonry.

**5.6.7** Single car garages are preferred, and are encouraged to have an increased depth for additional storage space.

**Attached Garages**

**5.6.8** Garages on corner units are encouraged to have windows matching the style used on the adjacent elevation where visible from the street.

**5.6.9** Elevation differences between the garage floor and the residence main floor shall be minimized to reduce excessive masonry over the garage door. Where grade differences require a lower garage floor slab, masonry detailing should be used to break up the mass.

**5.6.10** Where the difference in elevation between the finished first floor of the house and the finished grade immediately in front of the garage door exceeds 1.2m, the building mass above the garage door shall be treated with architectural detailing. Other architectural devices such as extended roof lines, projected bays or changes in massing may also be used to reduce the resulting large plain mass over the garage door, to the satisfaction of the Control Architect.

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

**5.6.11** Single bay garage doors of 2.4m maximum width are encouraged, and required when the total interior garage door width exceeds 5.48m (18'-0").

**5.6.12** For bungalows, an architectural feature such as a window, dormer, decorative verge boards, or patterned/coloured brickwork should be placed between the garage door and the roofline.

**Detached Garages**

**5.6.13** Architectural detailing such as quoins, raised brickwork, and brackets, should be incorporated into all facades.

**5.7 ENTRIES, PORCHES, VERANDAS, BALCONIES**

To create entry features that are attractive and promote interaction with the street, the following guidelines apply:

**5.7.1** Every house should have a clearly defined, inviting entrance that is directly accessible from a public street.

**5.7.2** All building entries should have a porch or a sheltered veranda. At least 25% of housing units should have a porch. Other entry features may include porticos, canopies or covered colonnades.

**5.7.3** Covered entrances, front and side porches, and balconies should have a minimum depth of 1.5m.

**5.7.4** Porches must add significance to the front door entrance, and are encouraged to extend along the entire front facade.

**5.7.5** Porch columns should be designed to fit the character of the building. Single (100mm by 100mm) posts are not acceptable. Beams supporting the porch roof must be expressed. Railings should be designed to fit in with porch character.

**5.7.6** For brick homes, porch columns must be made of a different material from the front facade unless there is a significant design in the brickwork of the columns that distinguishes them from the main brick cladding.

**5.7.7** Finish materials for porches should extend to grade.

**5.7.8** The design and detailing of the porch should be in keeping with the architectural style of the house, including columns, frieze boards, roof detailing, brackets, railings, steps and skirt materials.

**5.7.9** In a townhouse block, porches should not extend along the building wall beyond the front entry for more than two side-by-side units.

**5.7.10** Each model type offered must have at least one elevation that incorporates a porch or decorated colonnaded entry, with a minimum area of 35 square feet.

**5.7.11** Exposure of concrete porches over 14" above grade must be clad with brick or stone or other material in keeping with the architectural style.

**5.7.12** Railings at front entries should be in keeping with the traditional style of the house.

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

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**5.7.13** Front porches must have a sloping roof or be situated under a second storey overhang. Second storey balconies will only be permitted where in keeping with the historic style of the house.

**5.7.14** Porch roofs should have the same finish as the roof material for the main building.

**5.7.15** The maximum height of the porch (from the porch floor to the soffit) should not exceed 1.5 storeys.

**5.8 ROOF LINE, SHAPE AND PITCH**

To create buildings that will have a consistent roof form, but still allow for innovative designs, the following guidelines apply:

**5.8.1** The design of the roof should be appropriate to the architectural style of the building regarding massing, pitch, orientation, articulation and colour.

**5.8.2** Buildings of two storeys or greater shall have a minimum main roof pitch of 6/12. Single storey buildings shall have a minimum main roof pitch of 6.75/12.

**5.8.3** Roof features such as gables shall have a minimum roof pitch of 8/12 and more in the order of 10/12.

**5.8.4** A variety of main roof types (such as hip, gable, front to back, etc.) should be designed for all models to provide variety in the streetscape.

**5.8.5** Roof features, such as dormers and cupolas are encouraged. The design must be in scale and character with the chosen building style.

**5.8.6** Frieze boards or continuous soldier coursing must be used below house and garage roofs that are exposed to public view. They must return a minimum of 4'-0" on side elevations or to a natural break, such as windows.

**5.8.7** Roof vents and plumbing stacks shall be located away from the public view of the house. Where not possible, roof plans and elevations should demonstrate a coordinated approach to the overall design composition that minimizes the visual impact.

**5.8.8** Roof areas for small projections (less than 750 mm) such as bay windows should be finished with material other than asphalt shingles where visible from the public domain. Materials that are in keeping with the architectural style of the dwelling, such as clay tile or pressed metal, should be used to the satisfaction of the Control Architect.

**Bungalows, Semi-detached dwellings and Townhouses**

**5.8.9** Variations in roof type, shape, pitch and massing should extend along the front facade to provide visual interest.

**5.8.10** Roofing should not be designed to define side-by-side semi-detached units, but instead should give the appearance of a single proprietor building.

## **5.9 MATERIALS AND COLOURS**

To provide an appropriate spectrum of materials and colours in housing design, the following guidelines apply:

- 5.9.1** The dominant materials and colours will reinforce the architectural style selected by the builder.
- 5.9.2** Materials and colours are to be in harmony with no jarring contrasts.
- 5.9.3** Trim colours should complement the base materials. Bright primary colours are discouraged except in specific locations where they may contribute to the architectural theme of the neighbourhood.
- 5.9.4** The predominant cladding material on a house must be consistent on all elevations. Variations and accents in materials are encouraged with transitions occurring in natural locations.
- 5.9.5** Roof materials and colour must be in character with the building design. Roof eaves troughs, fascias and frieze boards are encouraged to be the same colour on each single detached, semi-detached or townhouse block.
- 5.9.6** Garage doors must be co-ordinated with the rest of the house materials. Paint colours must be appropriate and not be dominant.
- 5.9.7** A diversity of materials and styles, possibly with themed enclaves, is encouraged.
- 5.9.8** Repeated colour packages should not be used within three adjacent lots and three lots across the street
- 5.9.9** Flashing should blend in with the colour of the wall and/or roof, unless it can be demonstrated that it is a desirable accent feature.

## **5.10 WALL FINISHES**

To create exterior walls that are consistent in high quality design, the following guidelines apply:

- 5.10.1** Front and side walls exposed to public view shall be of similar wall composition.
- 5.10.2** Material changes should occur at appropriate locations, such as at windows or chimneys.
- 5.10.3** Details such as dentils, medallions, verge boards, keystones and brackets should be used in a historically accurate manner.
- 5.10.4** Quoins should be sized in proportion to the character of the building.
- 5.10.5** Siding panels must be framed with trim at the corners and bottom line, with the equivalent of a minimum size board of 1" x 4".
- 5.10.6** Lighter featured materials, such as precast stone, stucco and siding may be combined with clay masonry or stone walls to balance the weighty effect of masonry.
- 5.10.7** The junction of sloping or flat roofs and walls should reflect the architectural character of the building.

**COMMUNITY DESIGN AND ARCHITECTURAL GUIDELINES**

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**5.10.8** For semi-detached dwellings and townhouses, a coordinated approach should be used for the design of rain gutters and downspouts, belt coursing, precast trim, reveal lines, headers and soldiers.

**5.11 WINDOWS**

To provide for the design and placement of windows that are complementary with the architectural style of the community, the following guidelines apply:

**5.11.1** Window and door placement must be consistent with the architectural style on all elevations, regarding organization, proportion, grouping and detailing.

**5.11.2** If muntin bars are used, divided lights should be pursued with thermally sealed glazed windows. Clip-on decorative muntins are acceptable, but taping will not be allowed.

**5.11.3** Shutters must be in keeping with the architectural style of the dwelling. Each shutter must have a width half the size of its window opening and have a material thickness of at least 40mm.

**5.12 PLINTHS AND FOUNDATION WALLS**

To create a consistent standard for the design of the building structure, the following guidelines apply:

**5.12.1** Plinths shall visually express the house base and should relate in height and proportion to specific elements of the

building wall such as windows, where in keeping with the architectural style.

**5.12.2** Acceptable materials include rusticated brick, manufactured stone bands, and stucco.

**5.12.3** The exposed height of parged concrete foundation that is adjacent to masonry walls shall be a maximum of 0.3m above the finished grade.

**5.13 TOWNHOUSES**

The following guidelines apply specifically to all townhouse blocks. Refer to section 5.1 to 5.10 for other applicable guidelines:

**5.13.1** Each continuous townhouse block should exhibit a consistent architectural style, and be designed as a complete unit with complementary elevations, colours and materials.

**5.13.2** Front and side elevations should contain a high degree of architectural detailing. The different storeys and/or units should be distinguished by roof line, change in material or colour, balconies, verandas, recesses or a combination thereof for the front and side elevations.

**5.13.3** Front entries should be accompanied by foundation planting, porches, verandas, and stairways, where the development is subject to site plan approval.

**5.14 STACKED TOWNHOUSES**

Stacked townhouses contain two or more dwelling units located on top of one another. In addition to section 5.1 to 5.12, the following guidelines apply specifically to stacked townhouses:

- 5.14.1 The minimum front yard setback is approximately 3.0m, with a 1.5m front porch encroachment and a 2.0m encroachment for porch steps. The details will be specified in the enacting zoning by-law.
- 5.14.2 Balconies on the front, side or rear elevation should form part of a uniform pattern that strengthens the massing. Balconies may not be placed in a haphazard arrangement.
- 5.14.3 Private outdoor amenity space will be provided for each individual unit in the form of a balcony or patio (below grade, at grade or roof-top) or yard.
- 5.14.4 Parking may be provided on the internal roadways, via attached or detached garages, in underground parking garages, or a combination thereof.

**5.15 MIXED USE BUILDINGS**

Mixed-use buildings are single detached, semi-detached, townhouses, stacked townhouses, or multi-storey buildings that have the option of a ground-floor office or service use. Mixed Use buildings may be located as shown in the Secondary Plan, and are subject to all other applicable guidelines including the following:

- 5.15.1 Ground-floor office/service use may be flush with the front and side building facades, recessed or extended.

- 5.15.2 Where the ground-floor office/service portion is recessed, an arcade, colonnade, gallery or veranda should be used to define the open space.

- 5.15.3 A unifying design theme should be incorporated into the design of adjacent ground floor office/service uses within townhouse blocks and multi-storey buildings.

- 5.15.4 On-site parking must be located at the rear of the building.

- 5.15.5 Office/service signage should be incorporated into the façade treatment for the ground-floor, and not protrude outward.

- 5.15.6 Ground floor office/service uses should contain a generous amount of fenestration and architectural detailing such as upgraded materials, trim fascia or cornices in keeping with the overall architectural style of the building.

## SECTION 6 REVIEW AND APPROVAL PROCEDURE

### 6.1 OVERVIEW

The Community and Architectural Design Guidelines have been prepared to provide a clear understanding of the character and quality of architecture that is expected for new residential development in Caledon East.

This document will be used in the design and planning approval process as follows:

1. To evaluate the merits of plans of subdivision and condominium.

*Town staff will use the Community and Architectural Guidelines to assist the development community in the preparation of appropriate land division and layout applications.*

2. To assess the appropriateness of Site Plan Approval applications.

*Town staff will use the Guidelines to ensure that Site Plan Approval applications are representative of the vision for the community.*

3. To evaluate the details of Building Permit applications.

*A Control Architect will be selected by the Town to administer the Guidelines with respect to Building Permit applications.*

### 6.2 CONTROL ARCHITECT

The Control Architect will review the approved site plans, elevations and other materials for compliance with the Architectural Design Principles only. Once approved, the Control Architect will stamp (with a stamp for this specific purpose and not a seal of practice) and sign the final site plans. Building permit applications will only be processed by the Town when the stamped and signed site plans are received.

### 6.3 BUILDER RESPONSIBILITY

Approval by the Control Architect does not release the Builder from compliance with other approval agencies. The Builder is responsible for ensuring the following:

- a) compliance with municipal zoning requirements
- b) compliance with municipal development engineering standards
- c) compliance with the Ontario Building Code
- d) compliance with lot grading requirements as set out by the project engineer
- e) "preliminary" approval of plans, elevations, siting, streetscapes and colours prior to marketing or sales of dwellings.
- f) Any other municipal or regional requirement

### 6.4 PERIODIC REVIEW

Town of Caledon staff will undertake periodic review of developments approved and constructed under these guidelines. Staff will collaborate with the Control Architect to ensure that the plans and construction are in compliance with the Architectural Design Principles.

### **6.5 SKETCH DESIGN**

A preliminary review of individual unit designs will be conducted to the satisfaction of the Control Architect, which will include the following:

- a) Submission of design sketches with all elevations preferably on 8.5 by 14" paper.
- b) Master sheets of all elevations
- c) Coloured paste-up boards or photographs and exterior colour schedules must be submitted which indicate materials, manufacturer and colour names to be used for all proposed buildings for each Builder. The material submitted must include colours and materials for
  - Roof
  - Masonry
  - Siding
  - Doors and windows
  - Paint trim for each unit
- d) Material shall be received at least three working days prior to any review meeting.
- e) Approvals will generally take three to five working days.

### **6.6 SITE PLANS, ELEVATIONS AND GRADING**

Upon approval of the Sketch Design outlined in section 5.5, the following is required for review and approval by the Control Architect prior to submitting applications for Building Permits:

- a) Site plans for each block, which indicate grading, block and lot number, model type, street name and the colour package number.
- b) Streetscape Plans showing elevations, which must indicate:
  - Scale no larger than 1/8" = 1'0"

- Model type, lot number and street name
- Colour package number for each unit
- Roof-line character as viewed from the adjacent existing residential development
- A colour package chart that lists the colours and materials selected for each model.

### **6.7 TIMING**

All submissions must be made to the Control Architect before Municipal submissions. The Control Architect will require one working week for examination of the submission.

### **6.8 MEETINGS**

Meetings will take place in the Control Architect's office.

### **6.9 NUMBER OF COPIES**

At the time of Final Approval for Building Permits, the Control Architect requires one set for record purposes. The number of other copies required must be ascertained by the applicant.

### **6.10 SITE INSPECTION**

On completion of each group of houses, the Control Architect will conduct random site inspections of buildings constructed to determine compliance with the approved submissions. The Control Architect will report the findings to the Chief Building Official at the Town of Caledon.