



**TOWN OF CALEDON**

**Building Department**

# **Building Permits**

**A Homeowner's Guide**

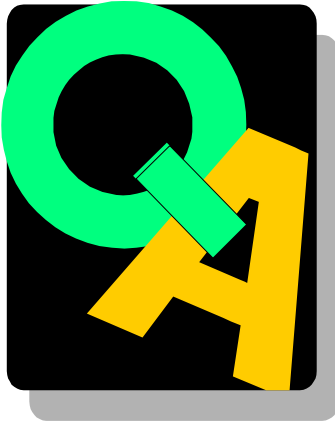


# BUILDING PERMITS

## A homeowner's guide

Whether you are planning on building a simple shed to a large addition on your house you will have many of the same questions. Do I need a Building Permit? What do I need to submit to get a permit? How long will it take? Why do I need a permit? This guide has been developed to assist you with understanding the Building Permit process and what information you will need to provide to the Town along with your Building Permit application.

This guide is designed as a basis to assist you in not only obtaining your Building Permit but with completing your project, however, since each project is unique and some of the external agency (e.g., Conservation Authorities, Niagara Escarpment Commission, etc) requirements that may apply to your property are different, you should contact the Building Section for the specific requirements that apply to your property.



## Why is a Building Permit Required?

Obtaining a Building Permit will help ensure that the work being constructed is in accordance with both the Ontario Building Code and the Town's Zoning By-Law. The Ontario Building Code contains the minimum construction standards that have been developed to ensure that the health, safety and welfare of both inhabitants and users of buildings are protected.

## What is a Building Permit?

A Building Permit is a document which grants legal permission from the Town to begin construction of a building project, it also includes a set of 'approved' plans which have been reviewed and approved by the Building Department for compliance with both the Ontario Building Code and the Zoning By-Law.

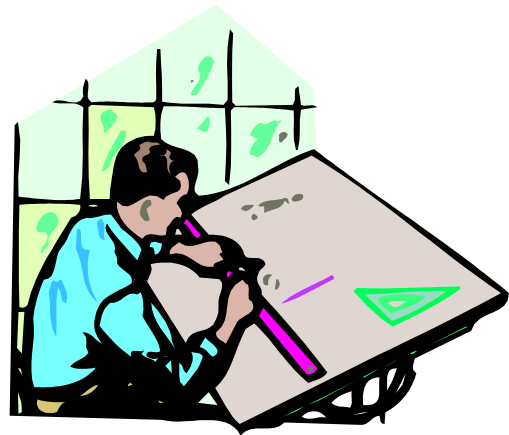
## What types of construction projects require a Building Permit?

Under the Building Code Act, a Building Permit is required for the construction, alteration or renovation of any structure over 10 m<sup>2</sup> (108 ft<sup>2</sup>) in area. Some typical projects that do require a permit include:

- new houses
- additions to houses
- garages (either detached or attached)
- carports
- decks\*
- plumbing, heating/air conditioning work
- sheds or other types of accessory structures that are greater than 10 m<sup>2</sup> (108 ft<sup>2</sup>) in area.
- new or repairs/alterations to sewage (septic) systems

Please remember that even though a Building Permit may not be required, compliance with the Zoning By-Law or other regulations (e.g., Conservation Authorities, Niagara Escarpment Commission, Oak Ridges Moraine, etc.) may apply. Please check with the Planning & Development Department for confirmation on the applicability of the Zoning By-Law or other regulations to your project.

\* A deck which is less than 60 cm (24 inches) above grade does not require a Building permit regardless of the size. Please note that all applicable Zoning By-Laws are still applicable to these decks.



## **Types of construction projects that do not require a Building Permit**

Not all new construction, alterations or renovations will require a Building permit. Some typical projects that do not require a permit include:

- air conditioning units or heat pumps added to existing systems
- pool heaters
- painting or decorating
- landscaping
- fences
- re-shingling of roofs
- eavestrough
- construction of non-loadbearing basement walls
- kitchen cupboards
- satellite dishes
- minor masonry repairs
- new window/doors
- a building or any accessory structure that does not exceed 10 m<sup>2</sup> (108 ft<sup>2</sup>).

Please remember that even though a Building Permit may not be required, compliance with the Zoning By-Law or other regulations (i.e., Conservation Authorities, Niagara Escarpment Commission, Oak Ridges Moraine) may apply. Please check with the Planning & Development Department for confirmation on the applicability of the Zoning By-Law or any other regulations that may apply to your project.

## **What if I do the work without getting a Permit?**

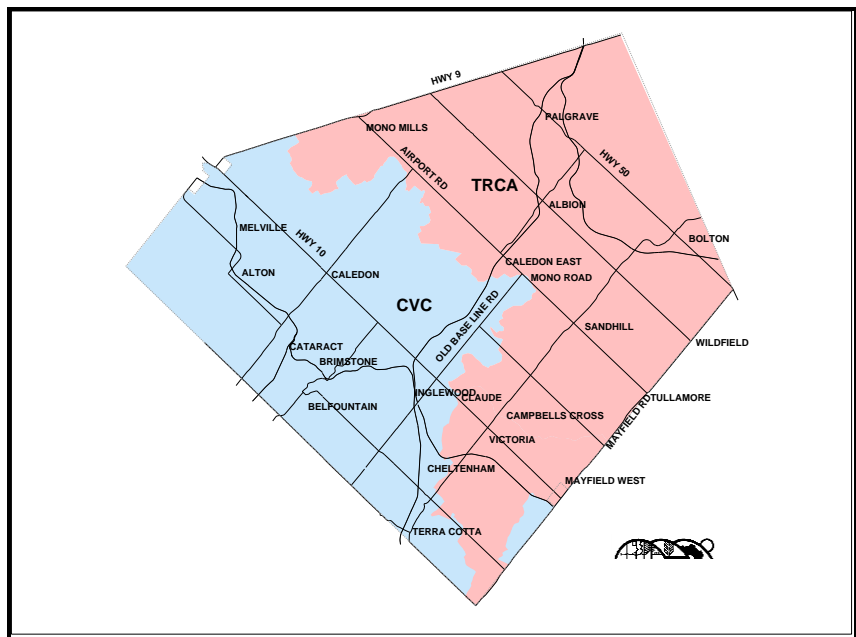
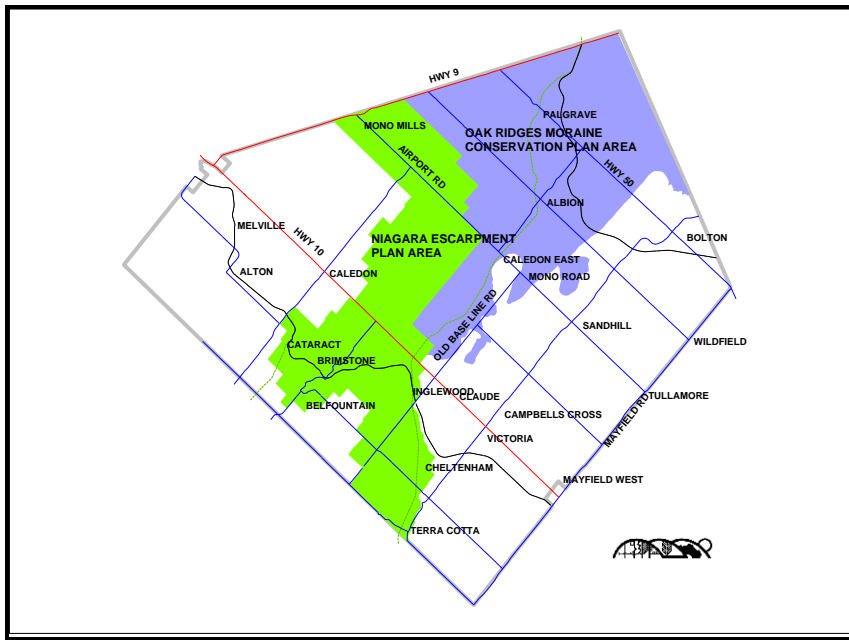
If the work does not comply with either the Ontario Building Code or the Town's Zoning By-Law, costly work may be needed to correct any infractions or the removal of the work may be required. Also any future legal transactions of the property (e.g., mortgage renewal, selling, etc.) may be significantly

impacted by the 'illegal' construction work. If the work is being done by a contractor, then there is no independent review by a third party for the homeowner to help ensure that work is being done correctly and your insurance may not cover any claims that may arise as a result of faulty construction. It is also a violation of the Building Code Act to carry out work for which a Building Permit is required. Failure to comply with the Building Code Act could result in charges being laid and penalties being assessed to the property owner or other responsible persons.



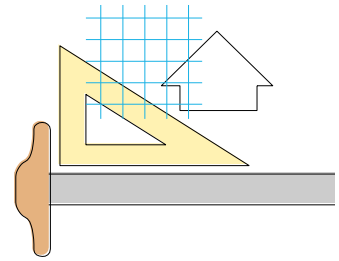
## What if I live in an area regulated by a Conservation Authority, the Niagara Escarpment Commission or the Oak Ridges Moraine Act?

If your property is in an area that is regulated by a Conservation Authority, Niagara Escarpment Commission or subject to the Oak Ridges Moraine Act and the work you are proposing is either new construction or work that is not wholly contained within an existing building, then you may require a permit from one of the Conservation Authorities, the N.E.C. or Site Plan Approval for the Oak Ridges Moraine. In order to determine if you require this additional approval, staff in the Planning & Development Department can advise of this and how to apply for these approvals. Please note that you may still apply for a Building Permit prior to obtaining this approval (if necessary), however, a Building Permit cannot be issued until such approval is obtained.



## What is needed to get a Permit?

A Building Permit application form along with 2 sets of the following drawings are required to be submitted to the Building Section along with the necessary Building Permit fees\*:



- Site Plan (this does not apply if the proposed work is confined to the interior of the building)
- Floor Plans
- Elevation Drawings of each side of proposed construction (this does not apply if the proposed work is to the interior of the building only)
- A roof framing plan or truss layout (including truss drawings)
- Mechanical drawings including Heat Loss/ Heat Gain calculations if a H.V.A.C. system is being installed or altered
- Number and type of Plumbing fixtures being installed (i.e., 2 sinks, bathtub, laundry room sink, toilet, etc.)
- Septic System information
- If the property is under the jurisdiction of a Conservation Authority or the Niagara Escarpment Commission, then proof of approval from these authorities is required.

If you have a good working knowledge of construction you may wish to design your own project, however, you may also wish to hire a designer to develop your plans. If you do hire a designer then please be aware they must have the appropriate qualifications and/or registration as a designer as required by the Building Code Act. Please speak to a representative of the Building Section for further clarification. Determining the specific requirements for your application can speed up the approval process and save you time and money.

\*Please contact the Building Section to determine your Building Permit fee prior to visiting the Town to submit your application.

The following table indicates the drawings required for various types of projects. Samples of these different drawing types follow on pages 7 to 13.

Application for:	Site Plan	Foundation or Basement Plan	Cross Section	Partial Floor Plan	Complete Floor Plan	Elevations (View of EACH side)
	Pg 7	Pg 8	Pg 10	Pg 8 – 9	Pg 9	Pg 11 - 12
Carpports	Yes	Yes	Yes	Yes	No	Yes
Detached garages and accessory buildings	Yes	Yes	Yes	No	Yes	Yes
Additions and attached garages	Yes	Yes	Yes	No	Yes	Yes
Wood burning stoves, fireplaces and chimneys	Yes	No	Yes	Yes	No	No
Porches and decks	Yes	Yes	Yes	Yes	No	Yes
Basement Walkouts	Yes	Yes	Yes	Yes	No	Yes

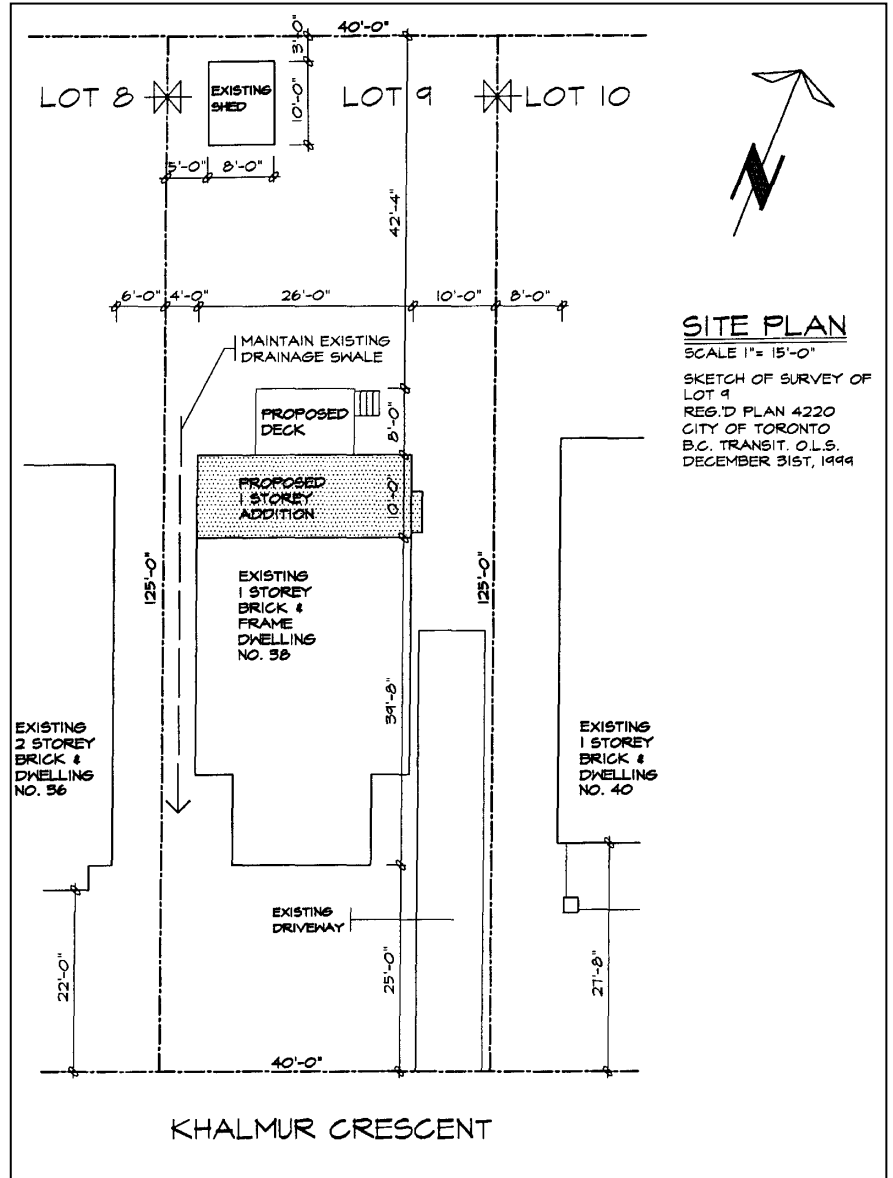
# Site Plan

A site plan identifies buildings and other structures or features in relation to property boundaries. The site plan should identify your existing house and any proposed changes.

Most or all of the information required for a site plan can be found on your property survey. You may have received one when you bought the property. If not you may have to hire a surveyor.

The following information should be shown on a site plan:

- 1) Title and scale
- 2) Legal description
- 3) Street name
- 4) North arrow
- 5) Property lines with dimensions
- 6) Setbacks to all property lines from existing and proposed structure(s)
- 7) Proposed construction (shaded)
- 8) Overall building dimensions
- 9) Right-of-way(s) and easements
- 10) Grading \*\*



SAMPLE SITE PLAN

\*\* Note: For a residential unit being constructed within a plan of subdivision, the developer's engineer must certify that the lot conforms to the overall grading plan.

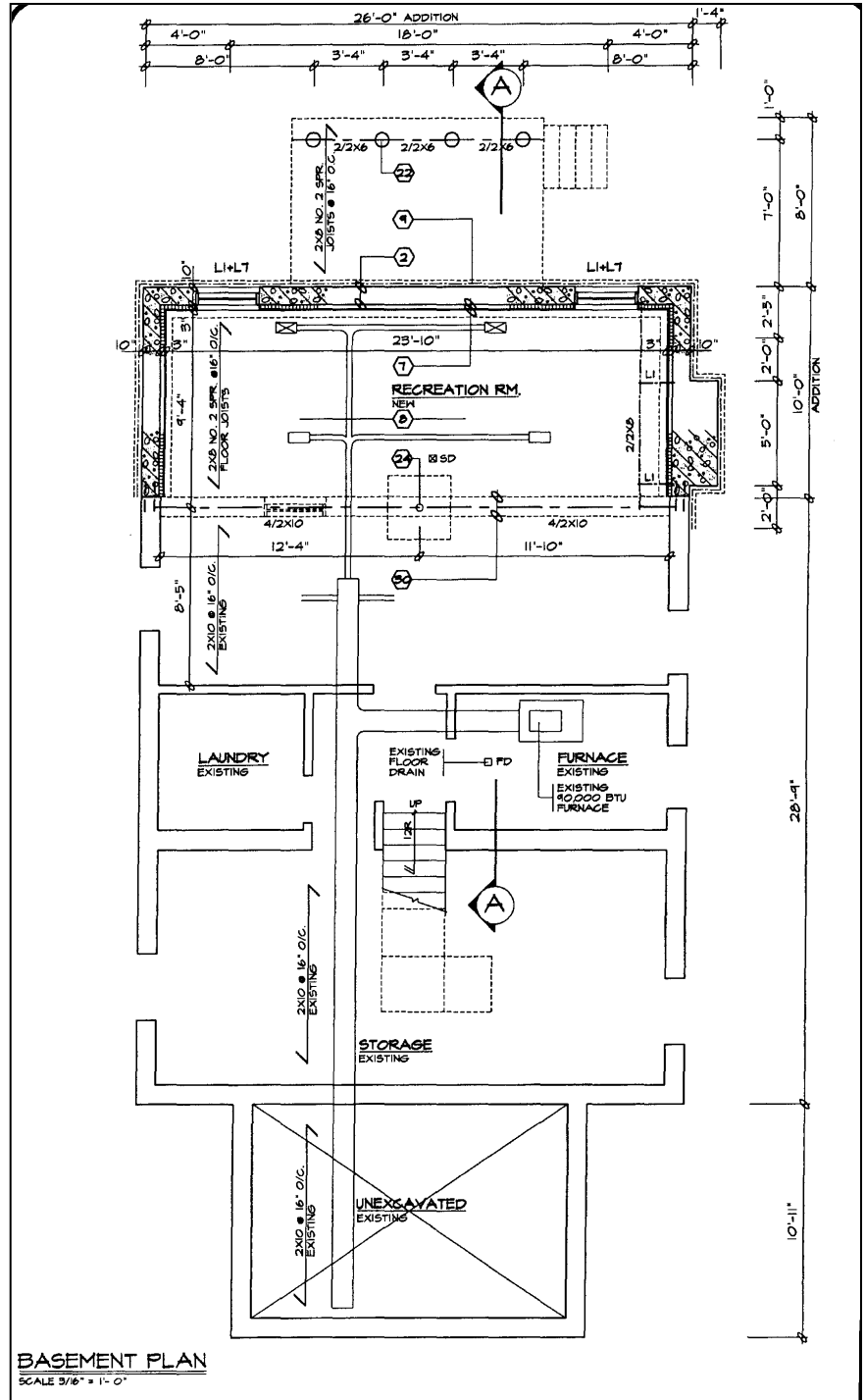
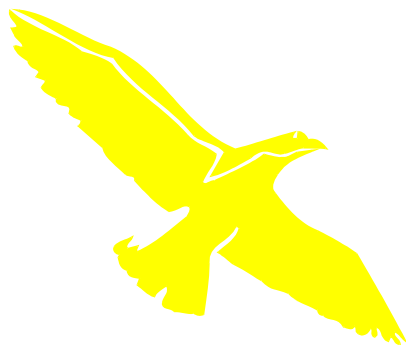


# Floor Plans

Floor plans provide a 'bird's eye view' of the different floors of your house. They show scaled dimensions of the rooms, halls and stairs on each floor, as well as the size, direction and spacing of structural members (e.g., joists, beams and lintels).

The following information should be shown on a floor plan:

- 1) Title and scale
- 2) Room names
- 3) Interior and exterior dimensions, including door and window sizes
- 4) Structural members and lintels, including their sizes
- 5) The materials used and the extent and size of both the new and existing structure(s)
- 6) Cross-section symbols
- 7) Location of plumbing fixtures



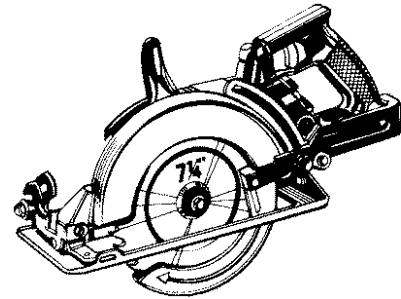
SAMPLE FLOOR PLAN



# Cross Sections

A cross-section presents a view of a building along an imaginary cut, showing the structural elements of the building and exposing what is hidden behind the walls.

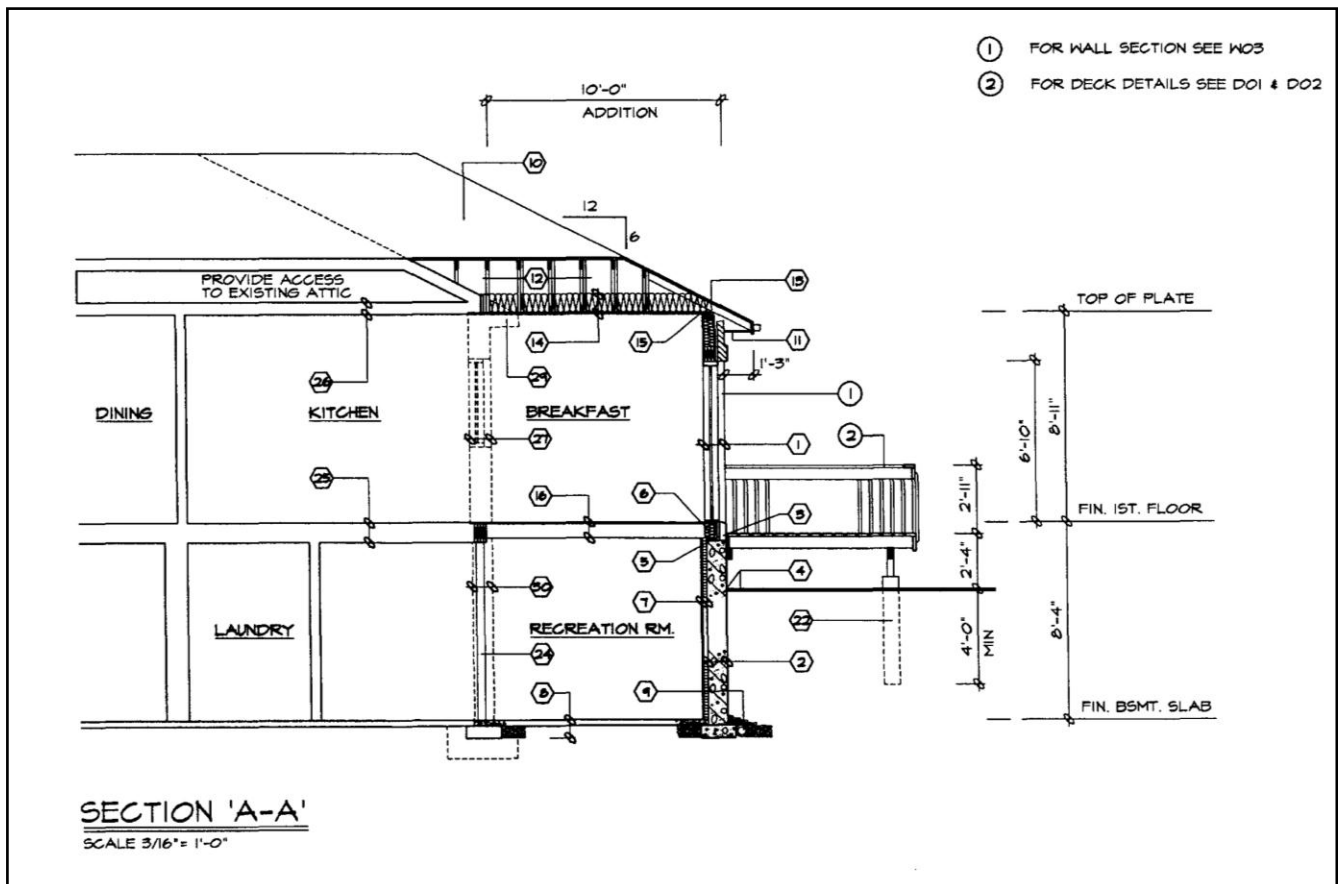
Cross-sections through the proposed and existing structure(s) may be required to show building materials and how they relate to one another. The location of a cross-section is shown by the cross-section symbol on the floor plans.



The following information should be shown on a cross-section:

- 1) Title and scale
- 2) Room names
- 3) Heights and dimensions of doors and windows
- 4) Size and type of materials and finishes
- 5) Finished floor level and grades
- 6) Existing house and proposed addition(s)

More detailed drawings may be necessary to fully explain a particular aspect of your project which varies from conventional construction practices. Typical detailed sections are available at the Building Section counter.



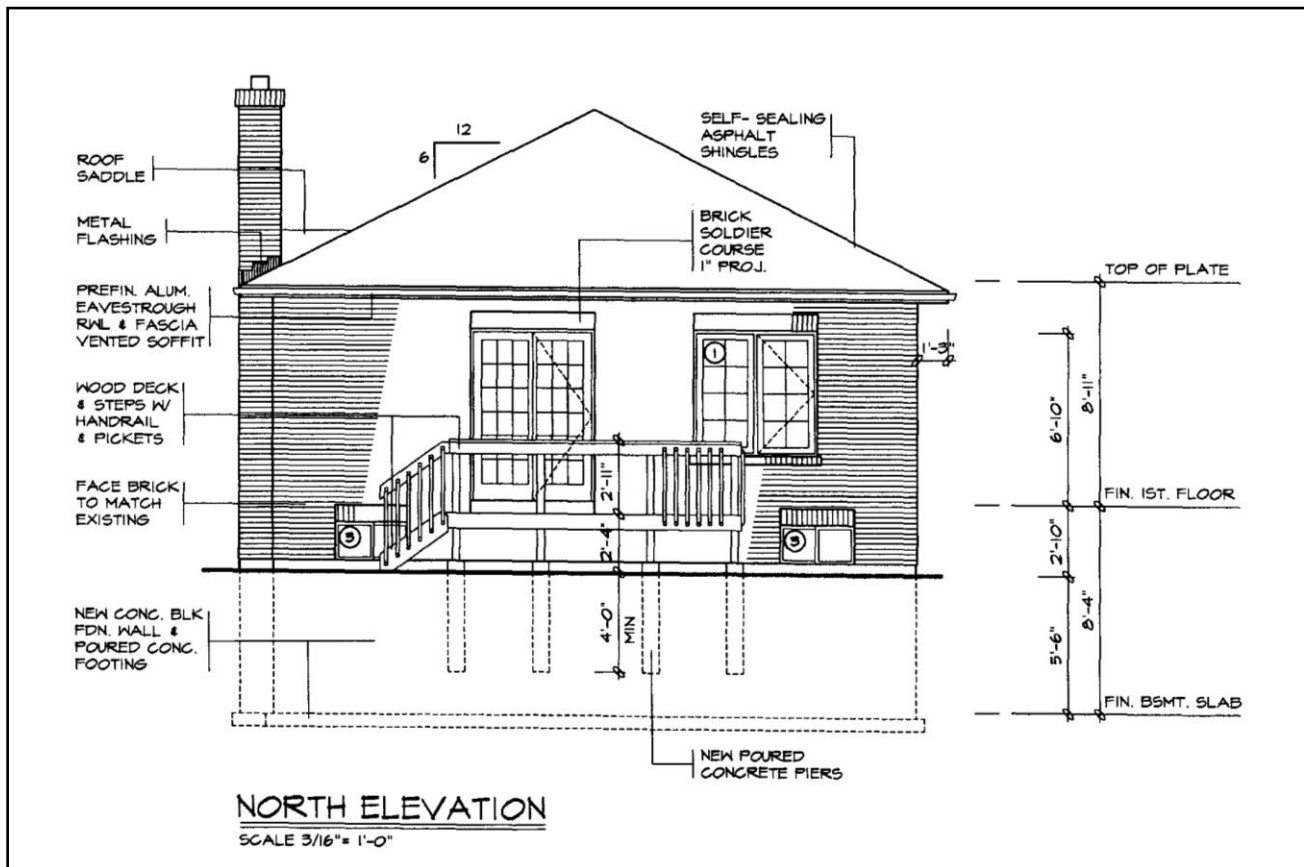
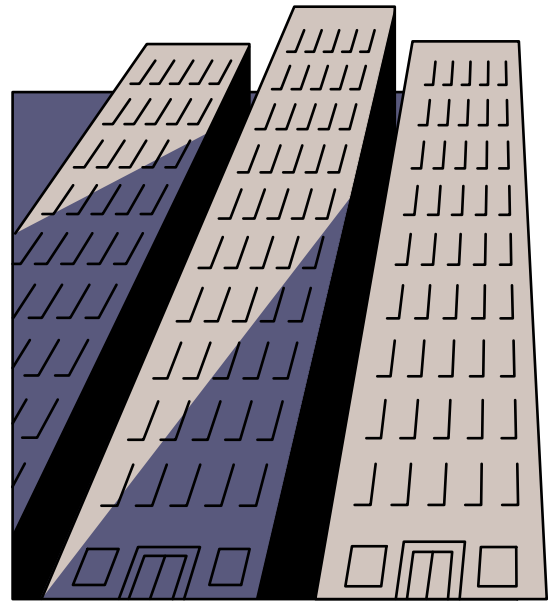
SAMPLE CROSS SECTION

# Elevations

Elevations show all exterior side views of a building. Elevation drawings may be required for any project which would alter the exterior view of your house.

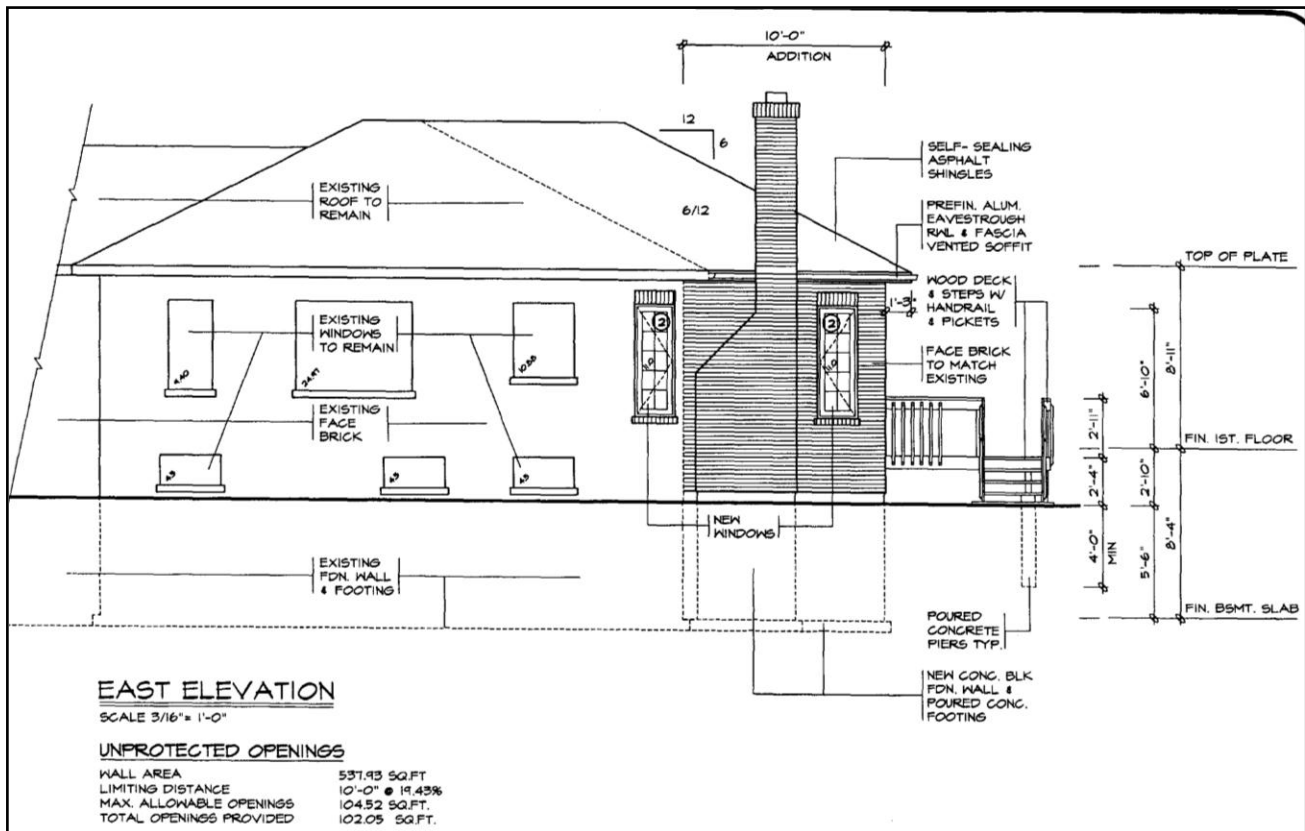
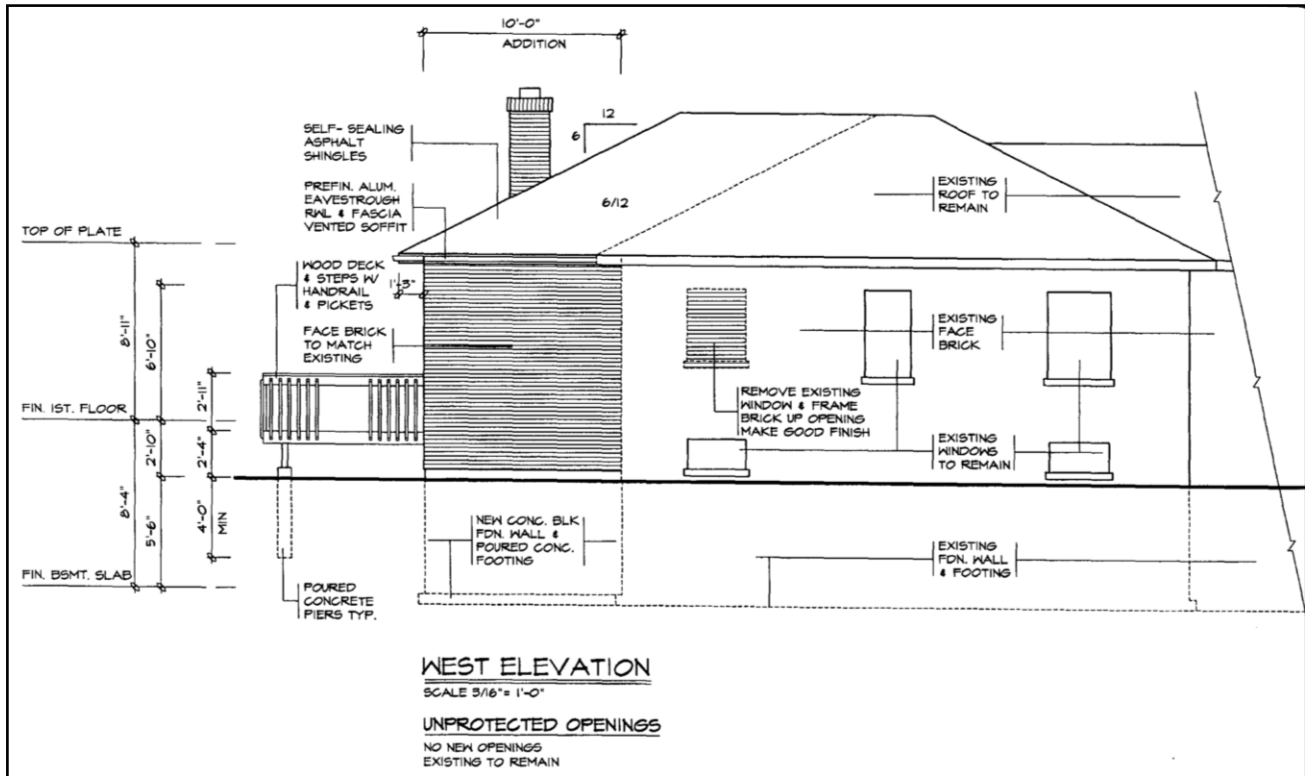
The following information should be shown on an elevation:

- 1) Title and scale
- 2) Heights and dimensions of existing and new window and door openings
- 3) Exterior finishes and materials
- 4) Finished floor levels and grade
- 5) Extent of proposed addition and existing house
- 6) Overall height of buildings
- 7) Slope/pitch of new roofs



SAMPLE ELEVATION DRAWING

# Elevations (con't)



SAMPLE ELEVATION DRAWINGS

## Private On-Site Sewage (Septic) Systems

In areas with municipal sewers, the disposal of sewage is not something property owners often think about. However, in areas without municipal sanitary sewers, sewage disposal is the responsibility of each property owner. Residential property owners must treat and dispose of both sanitary sewage and waste water on their property.

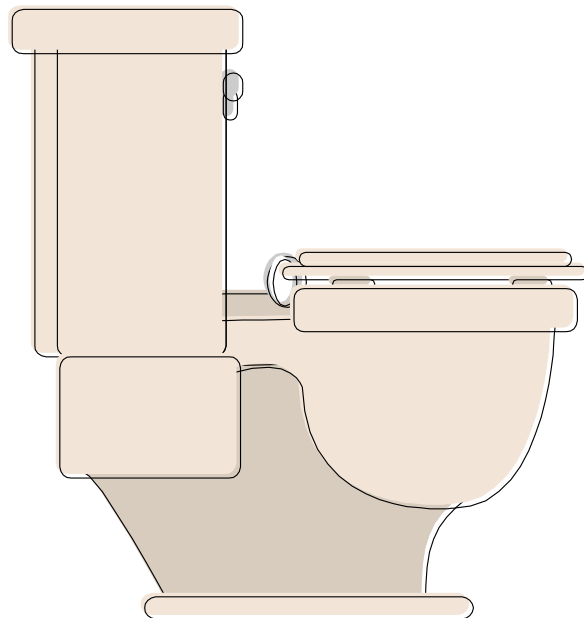
### Factors affecting Sewage System design

There are several factors that affect the size and location of the sewage system which also may ultimately impact on the location and size of your house. These factors are as follows:

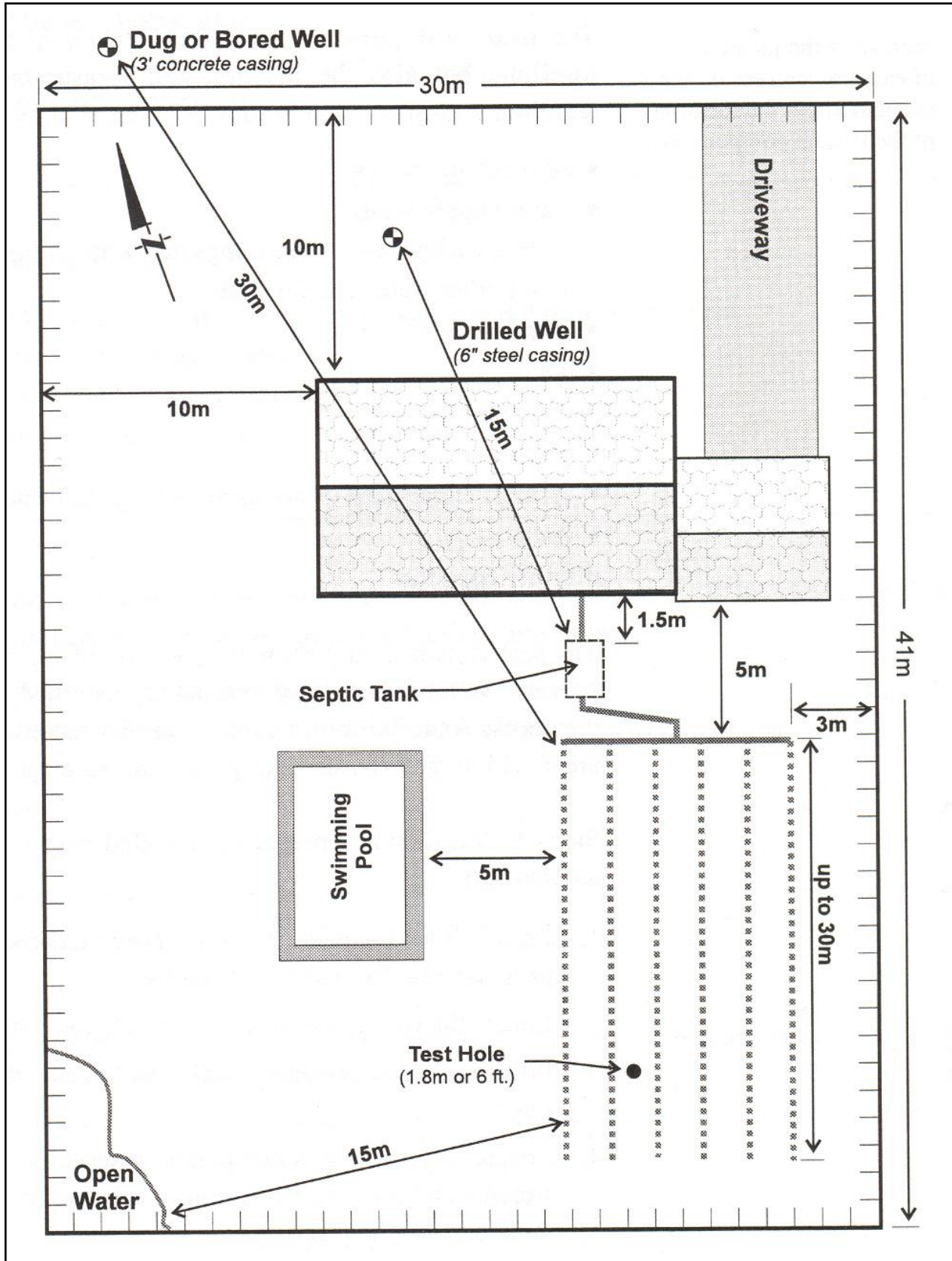
- Number of bedrooms in house
- Size of house
- Number of plumbing fixtures
- Soil type
- Location of other structures on property (e.g., sheds, decks, garages, etc.)
- Location of wells, watercourses, and property lines

### What information must be submitted?

2 sets of a Site Plan showing the sewage system, any structures on the property, wells, watercourses, property lines, etc. and measurements to those features (see page 14 for a sample site plan) along with a soils analysis showing the percolation capacity of the soil. If you are hiring a designer or contractor then you should be aware that the Building Code Act requires that all designers & contractors must have the required qualifications as stipulated in the Ontario Building Code.



# Septic Plans



SAMPLE SEPTIC SYSTEM PLAN

## What happens once I apply?

Once an application is submitted to the Town it is reviewed by a Zoning Plans Examiner along with a Structural/Architectural Plans Examiner and a Mechanical Plans Examiner. Once each Plans Examiner has completed their review and if there is additional information required, then they will contact the applicant in writing or by phone and advise them of this. Once all of the requirements are met including the payment of all fees\*, then the application is approved and a Building Permit is issued.

## Now that I have my Building Permit, what's next?

Once you have been issued a Building Permit you may now legally begin the construction of your project. During the course of your project there are several different stages of construction that must be inspected by the Town's Building Inspector and/or Mechanical Inspector (for a complete listing of these mandatory inspections please refer to page 16 of this guide). These inspections are legally required and are in place to ensure that the health, safety and welfare requirements of the Ontario Building Code have been met. These inspections are also a good way for either the do-it-yourselfer or the professional you've hired to utilize the expertise and experience that the Inspector can offer in helping to resolve any technical difficulties that may arise during the course of the project.

Please note that these inspections do not happen automatically. It is your responsibility to ensure that either you or your contractor contacts the Town to request an inspection at least 24 hours prior to the actual inspection. This will ensure that your project proceeds as approved and with minimal delays.

To book an inspection please call (905) 584-2272 Ext. 4174

Please note that the owner or representative of the owner (e.g., contractor) must be present during any mandatory inspection.

## Before you dig:

Remember to call the appropriate utilities before you dig:

Bell Canada and Enbridge Gas  
at 1-800-400-2255

Hydro One at 1-888-664-9376

Region of Peel Water & Sewer locate  
at (905) 791 – 7800 Ext. 3400

## Once the project is finished what do I do?

Upon completion of the project, the Inspector's must conduct one final inspection and upon successful review the Building Permit is officially signed-off as being complete. This signing-off is your assurance that everything has been inspected and approved and found to be in compliance with both the Ontario Building Code and the Town's Zoning By-Law.

**\*All Building Permit fees must be paid at the time the Building Permit application is submitted and all Development Charges must be paid prior to permit issuance.**



## Contacts

### Town of Caledon

Building & Support Services  
(905) 584-2272 Ext. 2233

Development Approval & Planning  
Policy (905) 584-2272 Ext. 7338

Public Works  
(905) 584-2272 Ext. 4328

Committee of Adjustment  
(905) 584-2272 Ext. 4265

Mailing Address:  
6311 Old Church Road  
Caledon East ON L7C 1J6

**Office Hours:**  
**Monday – Friday**  
**9:00am to 4:30pm**

## Other Agencies

Credit Valley Conservation Authority  
1255 Derry Road West  
Mississauga On L5N 6R4  
(905) 670-1615

Toronto Region Conservation Authority  
5 Shoreham Drive  
North York On M3N 1S4  
(416) 661-6600

Niagara Escarpment Commission  
232 Guelph Street  
Halton Hills On L7G 4B1  
(905) 877-5191

Region of Peel  
10 Peel Centre Drive  
Brampton On L6T 4B9  
(905) 791-7800

## Mandatory Inspections

### Structures:

1. FOOTINGS (prior to pouring concrete)
2. FOUNDATION AND WEEPERS (Backfill)
3. EXTERIOR DRAINS/WATER SERVICE
4. INTERIOR DRAINS
5. PLUMBING ROUGH-IN
6. H.V.A.C. ROUGH-IN
7. FRAMING (Prior to insulating)
8. INSULATION & VAPOUR BARRIER
9. PLUMBING FINAL
10. H.V.A.C. FINAL
11. BUILDING INTERIOR/FINAL (as per 2.4.3.2 OBC)

### Sewage Systems:

1. READINESS TO CONSTRUCT SEWAGE SYSTEM
2. COMPLETION OF TILE BED (Prior to backfill)
3. COMPLETION OF SEWAGE SYSTEM

**\* Please note that the owner or a representative of the owner (e.g., contractor) must be present during any mandatory inspection.**